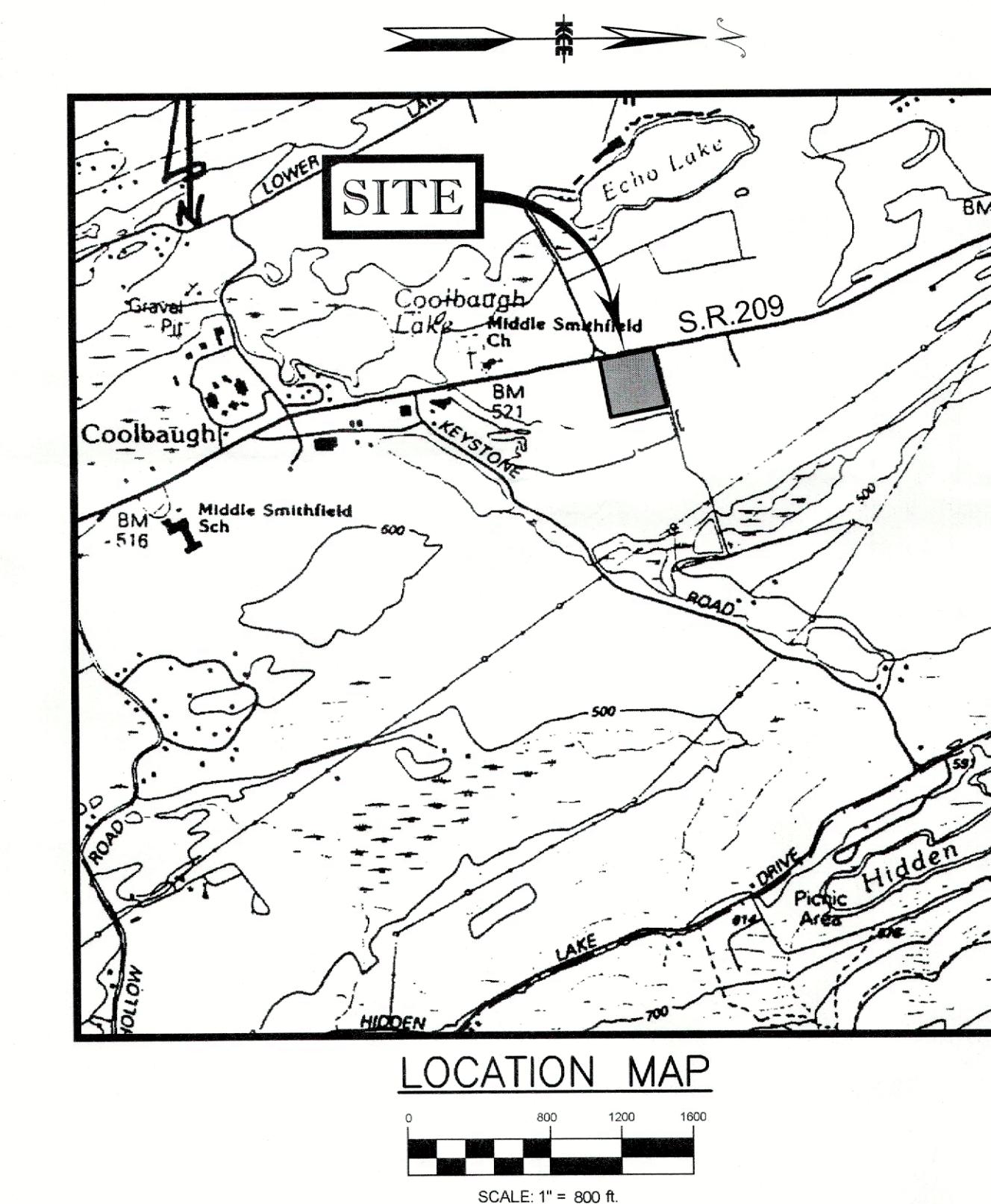


PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
MARSHAL SQUARE SHOPPING CENTER



SHEET INDEX	
SHEET NO.	TITLE
*	1 TITLE SHEET
*	2 RECORD PLAN
	3 EXISTING FEATURES / DEMOLITION PLAN
	4 GRADING / DRAINAGE / EROSION CONTROL PLAN

* DENOTES PLAN TO BE RECORDED



DIAL 8-1-1 OR 1-800-242-1776 NOT LESS THAN 3 BUSINESS DAYS NOR MORE THAN 10 BUSINESS DAYS PRIOR TO THE START OF EXCAVATION.

PENNSYLVANIA ONE CALL SYSTEM SERIAL NUMBER
20231530886 -000

PENNSYLVANIA ONE CALL SYSTEM FINAL DESIGN SERIAL NUMBER
000000000000 -000

KEYSTONE CONSULTING ENGINEERS, INC., HAS PREPARED THESE TOPOGRAPHIC DRAWINGS FOR THE PURPOSE OF THE DESIGN OF THE SUBDIVISION OR LAND DEVELOPMENT IMPROVEMENTS SHOWN. PURSUANT TO THE REQUIREMENTS OF PA ACT 287 OF 1974, AS AMENDED, KEYSTONE CONSULTING ENGINEERS, INC., HAS:

1. REQUESTED THE LINE AND FACILITY INFORMATION FROM A ONE CALL SYSTEM NOT LESS THAN TEN NOR MORE THAN NINETY WORKING DAYS BEFORE FINAL DESIGN IS TO BE COMPLETED.
2. SHOWN UPON THE DRAWINGS THE POSITION AND TYPE OF EACH FACILITY OWNER'S LINE, DERIVED PURSUANT TO THE REQUEST MADE, INCLUDING THE FACILITY OWNER'S NAME, OFFICE ADDRESS AND TELEPHONE NUMBER AS SHOWN ON THE LIST MAINTAINED BY THE ONE-CALL SYSTEM;
3. MADE A REASONABLE EFFORT IN PREPARATION OF THE CONSTRUCTION DRAWINGS TO AVOID DAMAGE TO AND MINIMIZE INTERFERENCE WITH THE FACILITY OWNER'S FACILITIES IN THE CONSTRUCTION AREA BY MAINTAINING AN EIGHTEEN-INCH CLEARANCE OF THE FACILITY OWNER'S FACILITIES;
4. SHOWN UPON THE DRAWINGS THE SERIAL NUMBER AND DATE OF THE ONE CALL NOTICE. KEYSTONE CONSULTING ENGINEERS, INC., MAKES NO REPRESENTATION, ASSURANCE OR GUARANTEE THAT THE INFORMATION OBTAINED AS NOTED ABOVE AND ILLUSTRATED HEREON ACCURATELY DEPICTS FIELD CONDITIONS. ALL CONTRACTORS PERFORMING ACTUAL EXCAVATION OR DEMOLITION WORK ON THIS SITE ARE HEREBY ALERTED TO THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE ONE-CALL SYSTEM AS REQUIRED BY ACT 287, AS AMENDED.

Site Design By:

The logo for KCF (Keystone Consulting Engineers) features the letters 'KCF' in a bold, black, sans-serif font. Each letter is composed of thick horizontal bars, giving it a stylized, modern appearance. Below the letters, the words 'KEYSTONE' and 'CONSULTING' are stacked in a smaller, bold, black, sans-serif font.

Civil Engineers & Surveyors

5012 Medical Center Circle
Suite 1, Allentown, PA 18106
610-395-0971 (P)
610-391-8942 (F)

www.KCEinc.com
East Office: Bethlehem, West Off

Digitized by srujanika@gmail.com

GENERAL LEGEND

RIGHT OF WAY LINE
PROPERTY LINE
ADJOINER PROPERTY LINE
CENTERLINE
EASEMENT LINE
X — X FENCE LINE
— — — EXISTING EDGE OF PAVEMENT
G GAS LINE
S SANITARY SEWER LINE
EX. CURB
PROPOSED CURB
O° SANITARY CLEANOUT
EX. UTILITY POLE
EX. WELL
PROPOSED PAVING
PROPOSED CANOPY
PROPOSED BUILDING
PROPOSED CONCRETE

GENERAL NOTES AND COVENANTS:

THE BELOW NOTES HAVE BEEN CARRIED OVER FROM PRIOR LAND DEVELOPMENT APPROVALS AND ARE VALID TO THE EXTENT THAT THEY APPLY.

- ALL USES SHOWN ON THIS PLAN ARE SUBJECT TO THE RULES AND REGULATIONS AS ARE SET FORTH IN THE MIDDLE SMITHFIELD TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE MIDDLE SMITHFIELD TOWNSHIP ZONING ORDINANCE, AS BOTH ARE AMENDED.
- WHEN ANY STREET PROPOSED ON THE SUBDIVISION PLAN REQUIRES ACCESS TO A HIGHWAY UNDER THE JURISDICTION OF THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 2029 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428), KNOWN AS THE "STATE HIGHWAY LAW", BEFORE ACCESS TO A STATE HIGHWAY IS PERMITTED. A PENNDOT HIGHWAY OCCUPANCY PERMIT FOR A MEDIUM VOLUME DRIVEWAY ON S.R. 0209 HAS BEEN ISSUED ON 05-22-03 VIA H.O.P. # 05030376.
- ALL UTILITY SERVICE FOR THE DEVELOPMENT SHALL BE FROM UNDERGROUND UTILITY SERVICE LINES.
- THE PROPOSED PARKING LAYOUT SHOWN ON THE PREVIOUSLY APPROVED PLAN IS TO BE REVISED AS SHOWN ON THIS PLAN.
- ALL PROPOSED CONCRETE CURB IN THESE AREAS SHALL BE FACE FORMED.
- THE DEVELOPER SHALL PROVIDE AND ERECT ROOF BARRIERS OR PARAPETS IN ORDER TO CONCEAL ALL HVAC AND OTHER UTILITY APPURTENANCES AND STRUCTURES PLACED ON ANY BUILDING ROOFS WITHIN THE PROJECT.
- NO VEHICLE REPAIR SERVICES SHALL BE PERFORMED ON THE SUBJECT PROPERTY.
- LONG TERM (OVER 30 DAYS) EXTERIOR STORAGE OF JUNK OR SALVAGE VEHICLES SHALL NOT BE PERMITTED ON THE SUBJECT PROPERTY.
- EXTERIOR STORAGE OF TIRES, VEHICLE PARTS, OR SIMILAR MATERIALS SHALL NOT BE PERMITTED ON THE SUBJECT PROPERTY.
- THE DEVELOPER SHALL PROVIDE ACTIVE MANAGEMENT ON CALL FOR THE PROJECT.
- DUMPSTERS/COMPACTORS SHALL BE SCREENED WITH A 6' HIGH WOODEN STOCKADE FENCE (SEE DETAIL). DUMPSTERS SHALL BE ADEQUATELY SIZED TO PREVENT OVER-FILLING.
- EXISTING STEEP SLOPE AREAS (SLOPES IN EXCESS OF 25% - SEE EXISTING FEATURES PLAN FOR DELINEATION) SHALL BE VERY CAREFULLY DEVELOPED SO AS NOT TO EXCESSIVELY INCREASE WATER RUNOFF, CAUSE SOIL EROSION, STREAM SILTATION OR ANY OTHER SIGNIFICANT DISRUPTION OF THE ENVIRONMENT.
- ALL USES AND ACTIVITIES SHALL BE IN COMPLIANCE WITH ARTICLE X OF THE TOWNSHIP ZONING ORDINANCE WITH RESPECT TO NOISE, SMOKE & FUMES ETC., HEAT AND GLARE, VIBRATIONS, AND POWER REGULATIONS.
- ANY AND ALL IMPROVEMENTS TO THIS PROPERTY ARE SUBJECT TO THE REQUIREMENTS STATED WITH THE CONDITIONAL USE APPROVAL DOCUMENTS AND CONDITIONAL USE PLANS. CONDITIONAL USE PERMITS WERE GRANTED ON 03-30-04 AND 06-18-10.
- IT IS THE INTENT OF THE DEVELOPER TO GRANT MIDDLE SMITHFIELD TOWNSHIP AN EASEMENT WHICH PROVIDES ACCESS TO ANY PUBLIC UTILITIES LOCATED ON THIS PROPERTY SHOWN HEREON AS NEEDED TO INSPECT AND MAINTAIN ANY PUBLIC UTILITIES AS NEEDED.

REQUIRED PARKING (FOR PROPOSED AND EXISTING SHOPPING CENTER):*

SHOPPING CENTER: 161 SPACES
FILLING STATION: 29 SPACES
MINI STORAGE: 3 SPACES
OFF-STREET LOADING SPACES: 3 SPACES

TOTAL: 193 SPACES REQUIRED
3 OFF-STREET LOADING SPACES REQUIRED

*NOTE: REQUIRED 85TH PERCENTILE PARKING PER ITE PARKING GENERATION MANUAL (5TH EDITION)

PROVIDED PARKING (PROPOSED AND EXISTING):

261 SPACES, 3 12'x40' LOADING SPACES

WATER SUPPLY AGREEMENT NOTE:

AS PART OF A PREVIOUS FINAL LAND DEVELOPMENT PLAN APPROVAL, A WATER SUPPLY AGREEMENT WAS EXECUTED TO SECURE THE CONTINUATION OF AN ADEQUATE WATER SUPPLY TO EXISTING WELLS OF NEIGHBORS WITHIN FIVE HUNDRED FEET OF ANY WELL ON THE MARSHALL'S SQUARE SITE. NOTE THAT THE TERMS AND BASELINE WELL PERFORMANCE CRITERIA ESTABLISHED AS PART OF THE AFOREMENTIONED WATER SUPPLY AGREEMENT SHALL REMAIN APPLICABLE WITH ANY PROPOSED ADDITIONAL WATER DEMAND RESULTING FROM THE FACILITIES PROPOSED AS PART OF THE FINAL LAND DEVELOPMENT PLAN, AS RECORDED IN THE MONROE COUNTY COURTHOUSE ON IN DEED BOOK VOLUME _____ PAGE _____.

REQUIRED PERMIT CERTIFICATION:

COMMONWEALTH OF PENNSYLVANIA : SS,
COUNTY OF MONROE : SS,

ON THIS, THE DAY OF APRIL 2023, BEFORE ME, THE UNDERSIGNED OFFICER, PERSON, OR AGENT, WHO DEPOSE AND SAY THAT HE IS A MEMBER AND OFFICER OF TARISA, LLC, AND DULY AUTHORIZED TO MAKE THIS CERTIFICATION ON ITS BEHALF; THAT TARISA, LLC IS THE OWNER OF THE PROPERTY SHOWN AND DEPICTED ON THIS PLAN; CERTIFIES THAT TARISA, LLC, ITS SUCCESSORS OR ASSIGNS WILL IMPLEMENT ALL REQUIREMENTS AND OBTAIN ALL PERMITS AS REQUIRED BY ANY AND ALL LOCAL, STATE OR FEDERAL AGENCIES; AND DOES ALSO AGREE AND REALIZE ON BEHALF OF TARISA, LLC, THAT IF SAID REQUIREMENTS ARE NOT IMPLEMENTED OR SAID PERMITS ARE NOT OBTAINED AS REQUIRED, ANY AND ALL APPROVALS GIVEN BY MIDDLE SMITHFIELD TOWNSHIP WILL BECOME NULL AND VOID WITH NO FURTHER ACTION ON THE PART OF THE TOWNSHIP.

TARISA REALTY LLC.

NOTARY PUBLIC SEAL

811 DIAL 8-1-1 OR 1-800-242-1776 NOT LESS THAN 3 BUSINESS DAYS NOR MORE THAN 10 BUSINESS DAYS PRIOR TO THE START OF EXCAVATION.

PENNSYLVANIA ONE CALL SYSTEM SERIAL NUMBER 20231530886-000

PENNSYLVANIA ONE CALL SYSTEM FINAL DESIGN SERIAL NUMBER 000000000000

KESTONE CONSULTING ENGINEERS, INC. HAS PREPARED THESE TOPOGRAPHIC DRAWINGS FOR THE PURPOSES OF THE DESIGN OF THE SUBDIVISION OR LAND DEVELOPMENT IMPROVEMENTS SHOWN, PURSUANT TO THE REQUIREMENTS OF PART 287 OF 1974, AS AMENDED, KESTONE CONSULTING ENGINEERS, INC., HAS:

- REQUESTED THE LINE AND FACILITY INFORMATION FROM A ONE CALL SYSTEM NOT LESS THAN TEN NOR MORE THAN NINETY WORKING DAYS BEFORE FINAL DESIGN IS TO BE COMPLETED.
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- SHOWN UPON THE DRAWINGS THE SERIAL NUMBER AND DATE OF THE ONE CALL NOTICE KESTONE CONSULTING NEEDS TO OBTAIN AS A SOURCE OF VERIFICATION OF SOURCE OF SURVEY THAT THE INFORMATION OBTAINED AS NOTED ABOVE AND ILLUSTRATED HEREON ACCURATELY DEPICTS FIELD CONDITIONS. ALL CONTRACTORS PERFORMING ACTUAL EXCAVATION OR DEMOLITION WORK ON THIS SITE ARE HEREBY ALERTED TO THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE ONE-CALL SYSTEM AS REQUIRED BY ACT 287, AS AMENDED.

SITE DATA:

ZONING: COMMERCIAL (C-1)

USE: SHOPPING CENTER
C-1 REQUIREMENTS AUTO FILLING STATION (EXIST-); VEH. SALES
MINIMUM LOT SIZE: 1.0 ACRES (REQ.) 7.79 ACRES
MINIMUM LOT WIDTH: 150 FT. (REQ.) 569 FT. (EXIST.)
FRONT YARD: 35 FT. 47.23 FT. (EXIST.)
SIDE YARD: 15 FT. 79.42 FT. (PROP.)
REAR YARD: 20 FT. 3.5 STORIES OR 45 FT.
MAXIMUM BUILDING HEIGHT: (WHICHEVER IS MORE RESTRICTIVE)
MAXIMUM BUILDING COVERAGE: 45% 17% (PROP.)
MAXIMUM IMPERVIOUS COVERAGE: 85% <84.63% (PROP.)

T.I.# 09734301182481
P.J.# 09/7/3/13 D.B.V. 2342/6703
TOTAL AREA: 7.7902 AC.
PROPOSED BUILDING AREA: 18,856 S.F.
TOTAL BUILDING AREA (PROP. AND EXIST.): 57,335 S.F.

SEWER: MUNICIPAL
WATER: ON LOT

CERTIFICATE OF ACCURACY AND COMPLIANCE:

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON, AS WELL AS ALL RELATED DRAWINGS AND DOCUMENTS SUBMITTED HEREWITHE ARE TRUE AND CORRECT TO THE ACCURACY REQUIRED BY AND ARE IN COMPLETE COMPLIANCE WITH THE MIDDLE SMITHFIELD TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND/OR THE MIDDLE SMITHFIELD TOWNSHIP ZONING ORDINANCE AND WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND FOR WHICH I ACCEPT FULL AND COMPLETE RESPONSIBILITY.

SCOTT T. PASTERSKI, PE.

DATE

SEAL

OWNER'S CERTIFICATION:

COMMONWEALTH OF PENNSYLVANIA : SS,

COUNTY OF MONROE : SS,

ON THIS, THE DAY OF 2010, BEFORE ME, THE UNDERSIGNED OFFICER PERSONALLY APPEARED BROOKS, ELIZABETH BEING SWORN ACCORDING TO LAW, DOOTH DISPOSE AND SAY THAT HE IS A MEMBER OF TARISA, LLC, THAT HE IS DULY AUTHORIZED TO MAKE THIS CERTIFICATION ON ITS BEHALF, THAT TARISA, LLC IS THE OWNER OF THE PROPERTY SHOWN AND DEPICTED ON THIS PLAN, AND THAT THE DEVELOPMENT PLAN THEREOF WAS MADE AT THE DIRECTION OF TARISA, LLC, AND THAT TARISA, LLC, ACKNOWLEDGES THE SAME TO BE ITS OWN ACT AND PLAN.

TARISA LLC.

NOTARY PUBLIC SEAL

MIDDLE SMITHFIELD TOWNSHIP PLANNING COMMISSION CERTIFICATE OF REVIEW AND RECOMMENDATIONS:

AT A PUBLIC MEETING HELD ON 2023 THE PLANNING COMMISSION OF MIDDLE SMITHFIELD TOWNSHIP REVIEWED AND BY A MOTION, DULY CARRIED, DOES HEREBY RECOMMEND APPROVAL OF THE SAID PROPERTY OF AS SHOWN HEREON.

CHAIRMAN

SECRETARY

MIDDLE SMITHFIELD TOWNSHIP BOARD OF SUPERVISORS CERTIFICATE OF REVIEW AND APPROVAL:

AT A PUBLIC MEETING HELD ON 2023 THE BOARD OF SUPERVISORS OF MIDDLE SMITHFIELD TOWNSHIP REVIEWED AND BY A MOTION, DULY CARRIED, DOES HEREBY APPROVE, ENDORSE AND SEAL THE SAID PLAN FOR THE PROPERTY OF AS SHOWN HEREON.

CHAIRMAN

SUPERVISOR

SUPERVISOR

AFFIDAVIT OF PLAN SUBMISSION

THIS LAND DEVELOPMENT PLAN WAS SUBMITTED TO THE MONROE COUNTY PLANNING COMMISSION FOR REVIEW ON 2023, SCOTT T. PASTERSKI, P.E. REGISTERED PROFESSIONAL ENGINEER.

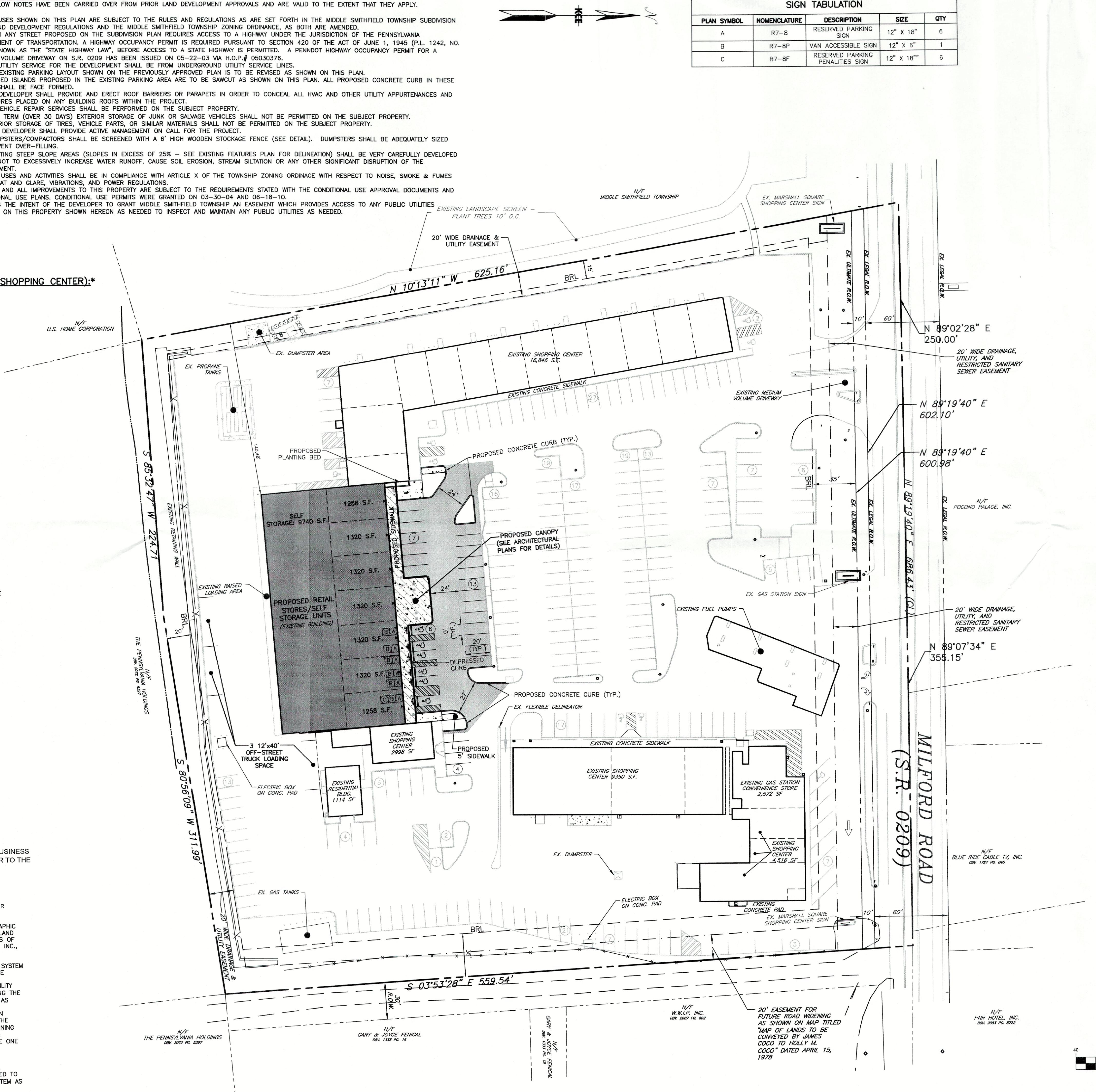
STATEMENT OF INTENT:

LAND DEVELOPMENT: THE INTENTION OF THIS LAND DEVELOPMENT PLAN APPLICATION IS TO SECURE THE APPROVAL OF THE SHOPPING CENTER AND SELF STORAGE UNITS PROPOSED WITHIN THE FOOTPRINT OF AN EXISTING SHELLED BUILDING, THE SHELLED BUILDING, HAVING A FLOOR AREA OF 18,856 SQUARE FEET.

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

KEYSTONE CONSULTING ENGINEERS, INC. Engineering firm of choice since 1972

5012 MEDICAL CENTER CIRCLE, SUITE 1, ALLEN TOWN, PA 18106 610-395-0971
East Office: Bethlehem, West Office: Allentown, North Office: Kresgeville, www.KCEINC.com



GENERAL LEGEND

- Right of Way Line
- Property Line
- Adjoinder Property Line
- Centerline
- Easement Line
- Fence Line
- Existing Edge of Pavement
- Gas Line
- Sanitary Sewer Line
- Ex. Curb
- Proposed Curb
- Sanitary Cleanout
- Ex. Utility Pole
- Ex. Well
- To Be Removed
- To Be Relocated
- Existing Pavement To Be Removed



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PENNSYLVANIA ONE CALL SYSTEM SERIAL NUMBER

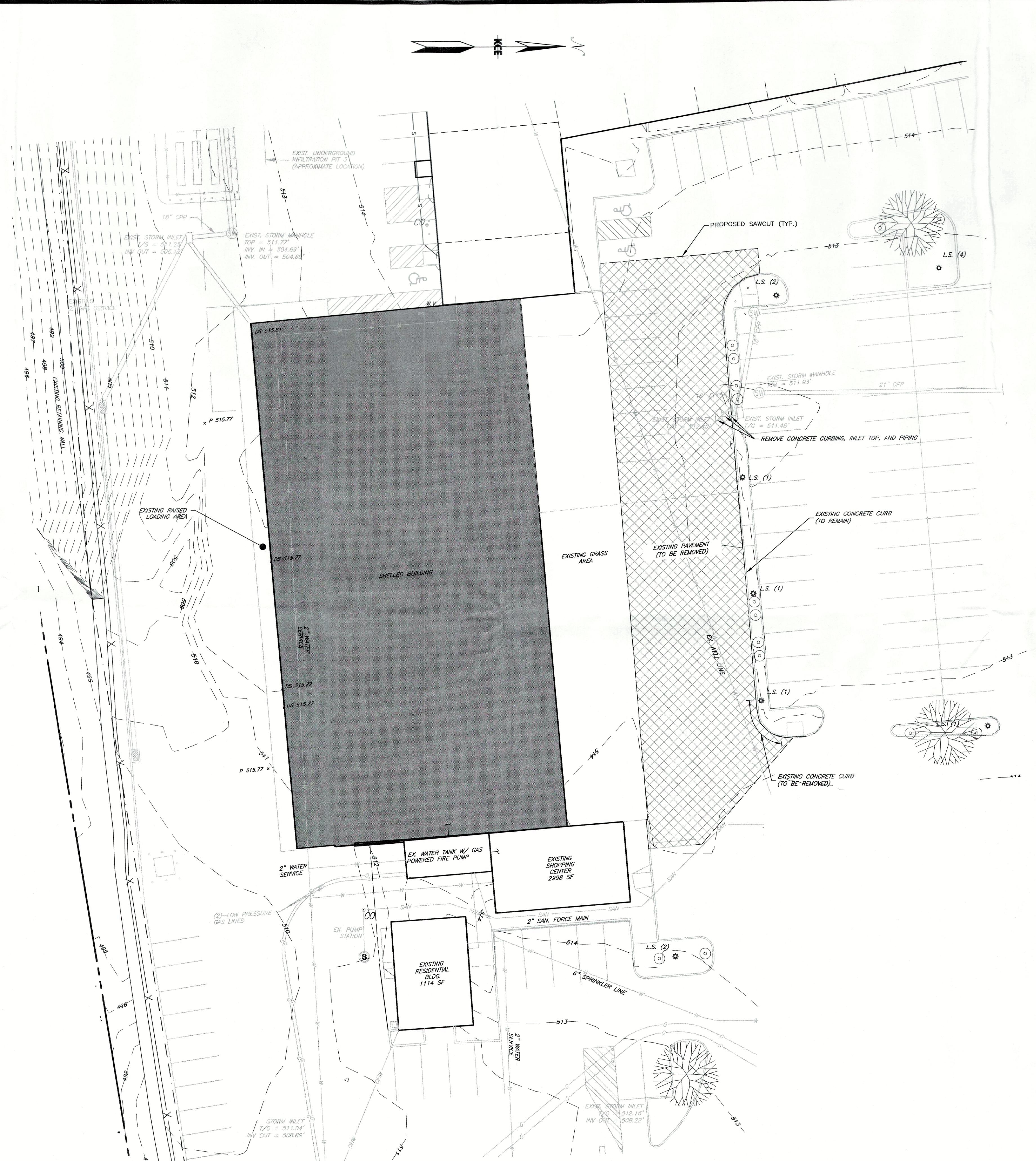
20231530866-000

PENNSYLVANIA ONE CALL SYSTEM FINAL DESIGN SERIAL NUMBER

0000000000-000

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BENCHMARK

♦ SOUTHWEST CORNER OF FUEL TANK CONCRETE SLAB ELEV. 514.62, FROM U.S.G.S. DATUM (NEAREST CONTOUR)

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

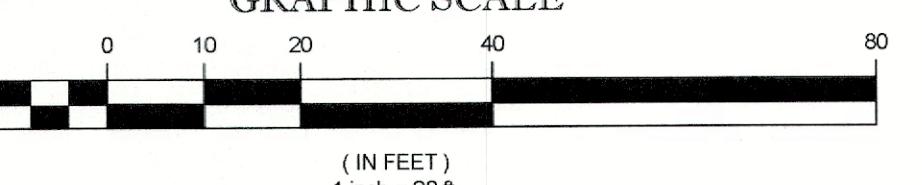


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Engineering firm of choice since 1972

5012 MEDICAL CENTER CIRCLE, SUITE 1, ALLEN TOWN, PA 18106-395-0971
East Office: Bethlehem, West Office: Allentown, North Office: Kresgeville
www.KCEINC.com

DESIGNED BY:	REVISIONS	EXISTING FEATURES AND DEMOLITION PLAN
DRAWN BY:	BY DATE	MARSHALL SQUARE SHOPPING CENTER
RL	7/6/2023	5224 MILFORD ROAD
DL, STP	1'-0"	MIDDLE SMITHFIELD TOWNSHIP MONROE COUNTY, PENNSYLVANIA

GRAPHIC SCALE



(IN FEET)

1 inch = 20 ft

SHEET:

JOB NUMBER: CW-23-017

SCALE:

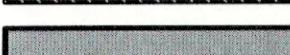
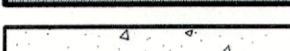
DATE:

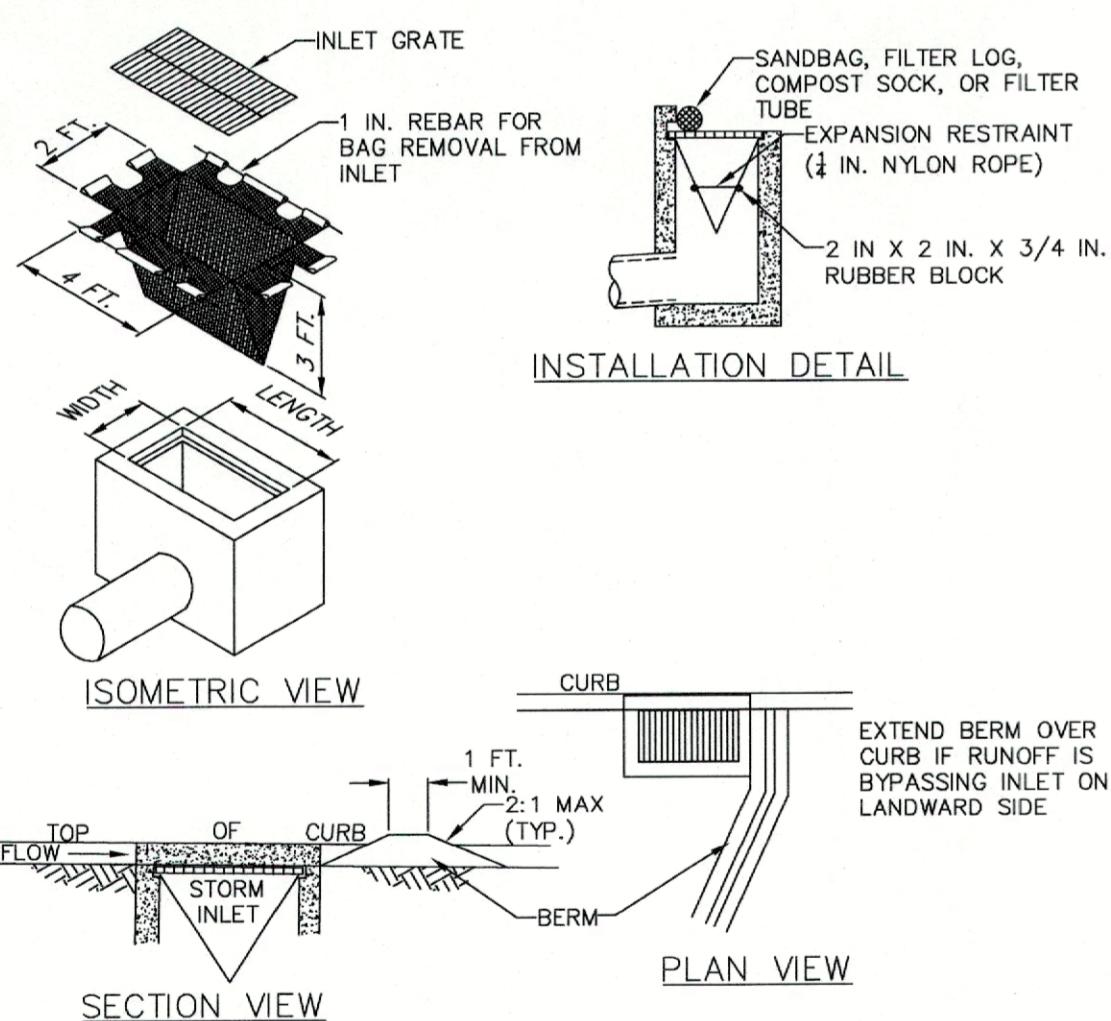
CHECKED BY:

DRAWN BY:

DESIGNED BY:

GENERAL LEGEND

— — — — —	RIGHT OF WAY LINE
— — — — —	PROPERTY LINE
— — — — —	ADJOINER PROPERTY LINE
— — — — —	CENTERLINE
— — — — —	EASEMENT LINE
X — — — —	FENCE LINE
— — — — —	EXISTING EDGE OF PAVEMENT
— — — — —	GAS LINE
S — — — —	SANITARY SEWER LINE
SFM — — — —	SANITARY SEWER FORCE MAIN
— — — — —	EX. CURB
— — — — —	PROPOSED CURB
O ^{CO}	SANITARY CLEANOUT
Q	EX. UTILITY POLE
W	EX. WELL
	PROPOSED PAVING
	PROPOSED CANOPY
	PROPOSED BUILDING
	PROPOSED CONCRETE



NOTES

MAXIMUM DRAINAGE AREA = 1/2 ACRE.

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT. AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS, A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.

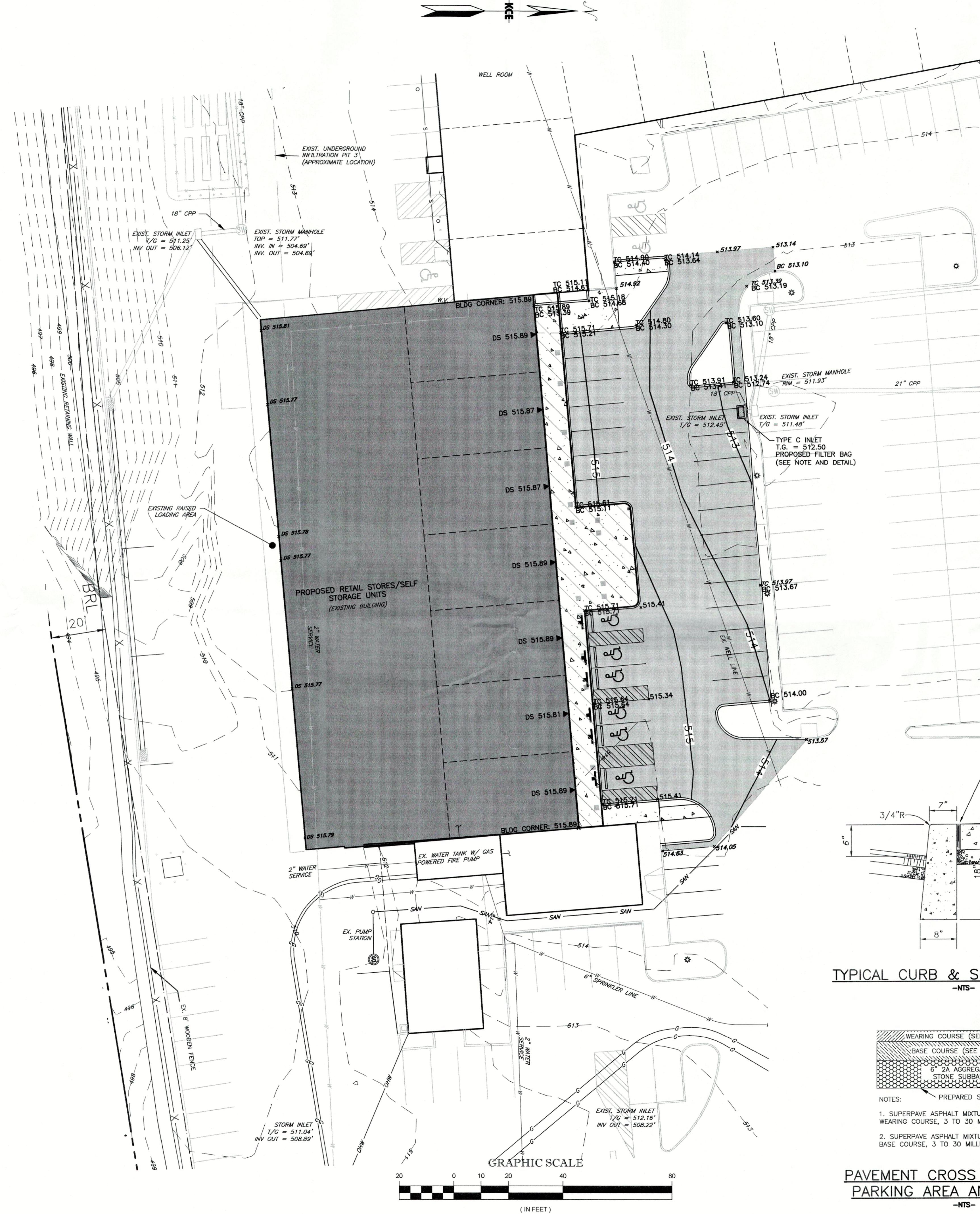
SIEVE.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

STANDARD CONSTRUCTION DETAIL #4-15
FILTER BAG INLET PROTECTION – TYPE C INLET

NOT TO SCALE



PAVEMENT CROSS SECTION FOR PARKING AREA AND DRIVEWAY

2. SUPERPAVE ASPHALT MIXTURE DESIGN, 25mm, PG 64-22,
BASE COURSE, 3 TO 30 MILLION ESAL'S, 3" DEPTH.

BASE COURSE, 3 TO 35 MILLION LBS/S, 3 DEPTH

PAVEMENT CROSS SECTION FOR

MOVEMENT CROSS SECTION FOR PARKING AREA AND DRIVEWAY

PARKING AREA AND DRIVEWAY

PROTECT YOURSELF

A PHONE CALL
CAN BE YOUR INSURANCE POLICY



YOU DON'T KNOW CAN HURT YOU.
A ACT 121 REQUIRES NOTIFICATION BY EXCAVATORS,
ANY PERSON PREPARING TO DISTURB THE EARTH'S

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

DESIGNED BY:		RL	REVISIONS	
DRAWN BY:		RL	BY	DATE
CHECKED BY:		DJT, STP		
DATE:	7/6/2023			
SCALE:	1"=20'			
JOB NUMBER:	CW-23-017			
SHEET:	4 OF 4			

G

KEYSTONE CONSULTING ENGINEERS, INC.

Engineering firm of choice since 1972

2870 E M RICK BOULEVARD, BETHLEHEM, PA 18020 610-865-4555
East Office: Bethlehem, West Office: Allentown, North Office: Kress gevill
www.KCEINC.com