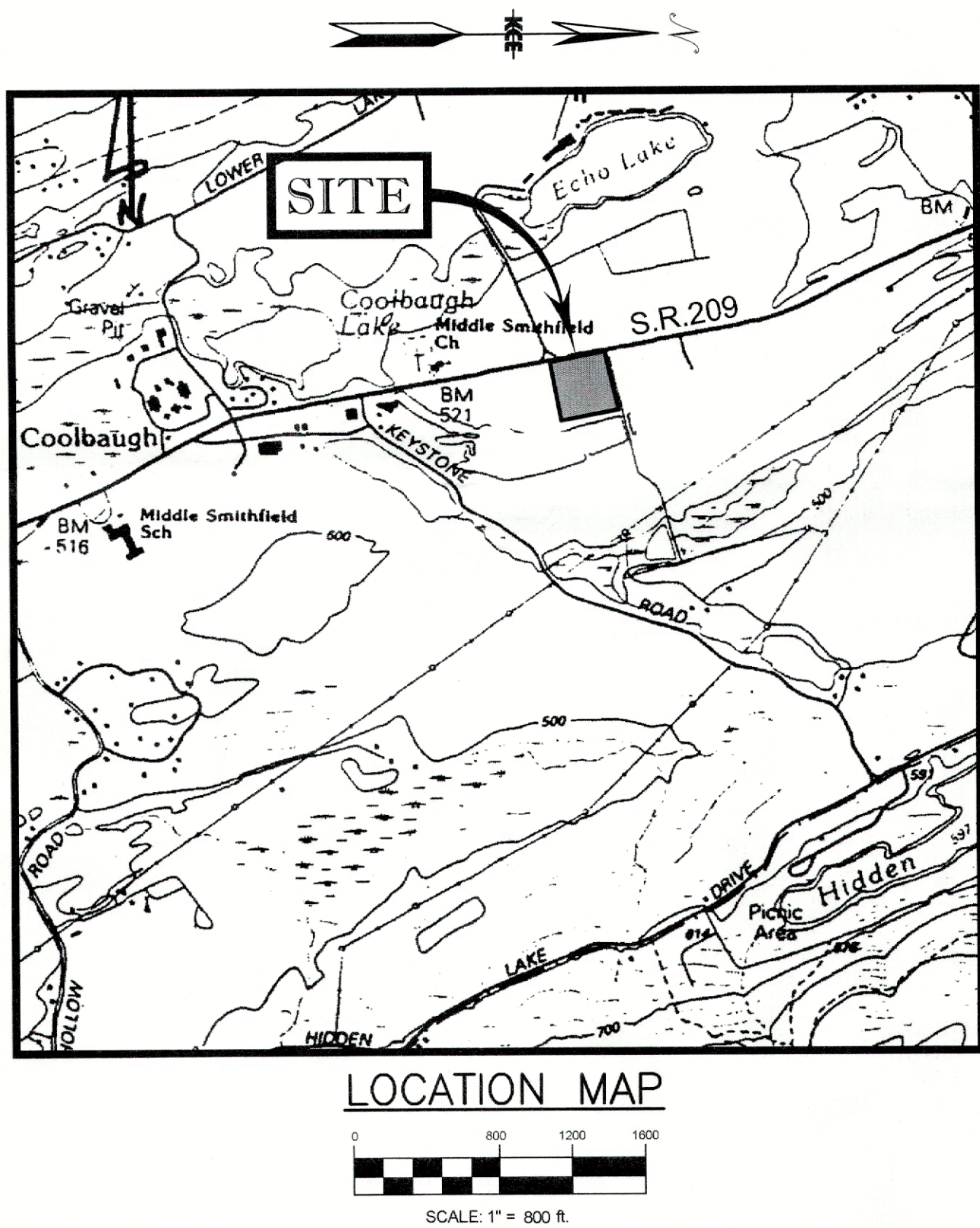


PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

MARSHALL SQUARE SHOPPING CENTER

MIDDLE SMITHFIELD TOWNSHIP
MONROE COUNTY, PENNSYLVANIA
JULY 6, 2023



SHEET INDEX	
SHEET NO.	TITLE
* 1	TITLE SHEET
* 2	RECORD PLAN
3	EXISTING FEATURES / DEMOLITION PLAN
4	GRADING / DRAINAGE / EROSION CONTROL PLAN

* DENOTES PLAN TO BE RECORDED



DIAL 8-1-1 OR 1-800-242-1776 NOT LESS THAN 3 BUSINESS DAYS NOR MORE THAN 10 BUSINESS DAYS PRIOR TO THE START OF EXCAVATION.

PENNSYLVANIA ONE CALL SYSTEM SERIAL NUMBER
20231530886 -000

PENNSYLVANIA ONE CALL SYSTEM FINAL DESIGN SERIAL NUMBER
00000000000 -000

KEYSTONE CONSULTING ENGINEERS, INC., HAS PREPARED THESE TOPOGRAPHIC DRAWINGS FOR THE PURPOSE OF THE DESIGN OF THE SUBDIVISION OR LAND DEVELOPMENT IMPROVEMENTS SHOWN. PURSUANT TO THE REQUIREMENTS OF PA ACT 287 OF 1974, AS AMENDED, KEYSTONE CONSULTING ENGINEERS, INC., HAS:

1. REQUESTED THE LINE AND FACILITY INFORMATION FROM A ONE CALL SYSTEM NOT LESS THAN TEN NOR MORE THAN NINETY WORKING DAYS BEFORE FINAL DESIGN IS TO BE COMPLETED.
2. SHOWN UPON THE DRAWINGS THE POSITION AND TYPE OF EACH FACILITY OWNER'S LINE, DERIVED PURSUANT TO THE REQUEST MADE, INCLUDING THE FACILITY OWNER'S NAME, OFFICE ADDRESS AND TELEPHONE NUMBER AS SHOWN ON THE LIST MAINTAINED BY THE ONE-CALL SYSTEM;
3. MADE A REASONABLE EFFORT IN PREPARATION OF THE CONSTRUCTION DRAWINGS TO AVOID DAMAGE TO AND MINIMIZE INTERFERENCE WITH THE FACILITY OWNER'S FACILITIES IN THE CONSTRUCTION AREA BY MAINTAINING AN EIGHTEEN-INCH CLEARANCE OF THE FACILITY OWNER'S FACILITIES;
4. SHOWN UPON THE DRAWINGS THE SERIAL NUMBER AND DATE OF THE ONE CALL NOTICE. KEYSTONE CONSULTING ENGINEERS, INC., MAKES NO REPRESENTATION, ASSURANCE OR GUARANTEE THAT THE INFORMATION OBTAINED AS NOTED ABOVE AND ILLUSTRATED HEREON ACCURATELY DEPICTS FIELD CONDITIONS. ALL CONTRACTORS PERFORMING ACTUAL EXCAVATION OR DEMOLITION WORK ON THIS SITE ARE HEREBY ALERTED TO THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE ONE-CALL SYSTEM AS REQUIRED BY ACT 287, AS AMENDED.

Site Design By:

KCE
KEYSTONE
CONSULTING
ENGINEERS

Civil Engineers &
Surveyors

5012 Medical Center Circle
Suite 1, Allentown, PA 18106
610-395-0971 (P)
610-391-8942 (F)

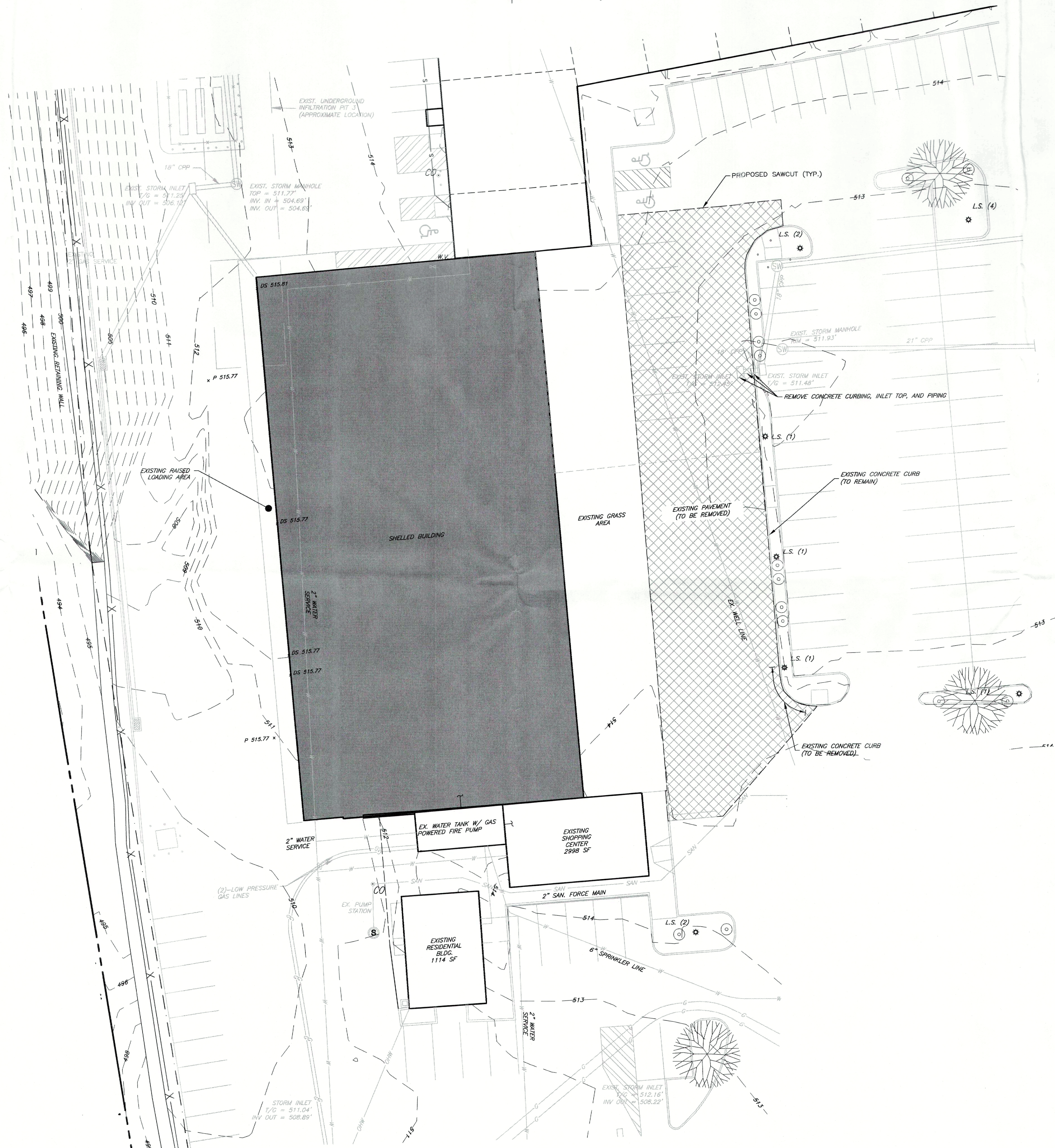
www.KCEinc.com
East Office: Bethlehem, West Office: Allentown, North Office: Kresgeville

GENERAL LEGEND

- RIGHT OF WAY LINE
- PROPERTY LINE
- ADJOINER PROPERTY LINE
- CENTERLINE
- EASEMENT LINE
- FENCE LINE
- EXISTING EDGE OF PAVEMENT
- GAS LINE
- SANITARY SEWER LINE
- EX. CURB
- PROPOSED CURB
- SANITARY CLEANOUT
- EX. UTILITY POLE
- EX. WELL
- TBR TO BE REMOVED
- TBRL TO BE RELOCATED
- EXISTING PAVEMENT TO BE REMOVED

BENCHMARK

SOUTHWEST CORNER OF FUEL TANK CONCRETE SLAB
ELEV. 514.62, FROM U.S.G.S. DATUM (NEAREST CONTOUR)



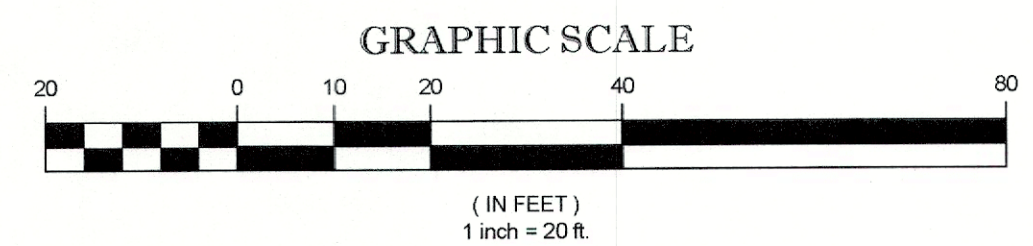
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PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

EXISTING FEATURES AND DEMOLITION PLAN

MARSHALL SQUARE SHOPPING CENTER
5224 MILFORD ROAD

MIDDLE SMITHFIELD TOWNSHIP
MONROE COUNTY, PENNSYLVANIA

DESIGNED BY:	RL
DRAWN BY:	RL
CHECKED BY:	DJT, STP
DATE:	7/6/2023
SCALE:	1"=20'
JOB NUMBER:	CW-23-017
SHEET:	3 OF 4



KEYSTONE CONSULTING ENGINEERS, INC.

Engineering firm of choice since 1972

5012 MEDICAL CENTER CIRCLE, SUITE 1, ALLENTOWN, PA 18106 610-395-0971

East Office: Bethlehem, West Office: Allentown, North Office: Kresgeville

www.kceinc.com

GENERAL LEGEND

- RIGHT OF WAY LINE
- PROPERTY LINE
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- EX. WELL
- PROPOSED PAVING
- PROPOSED CANOPY
- PROPOSED BUILDING
- PROPOSED CONCRETE

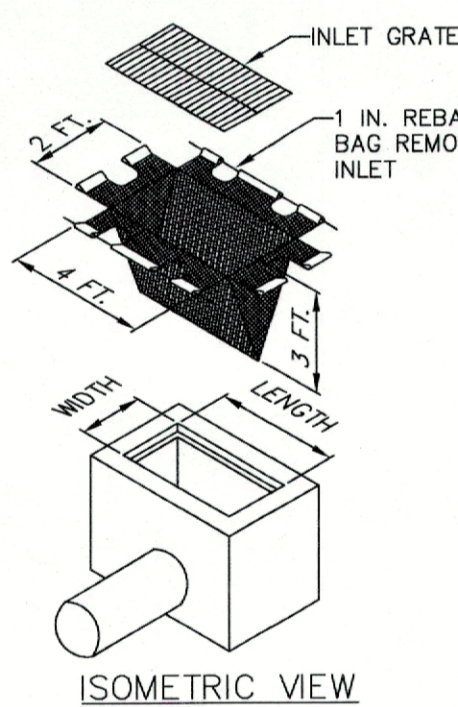
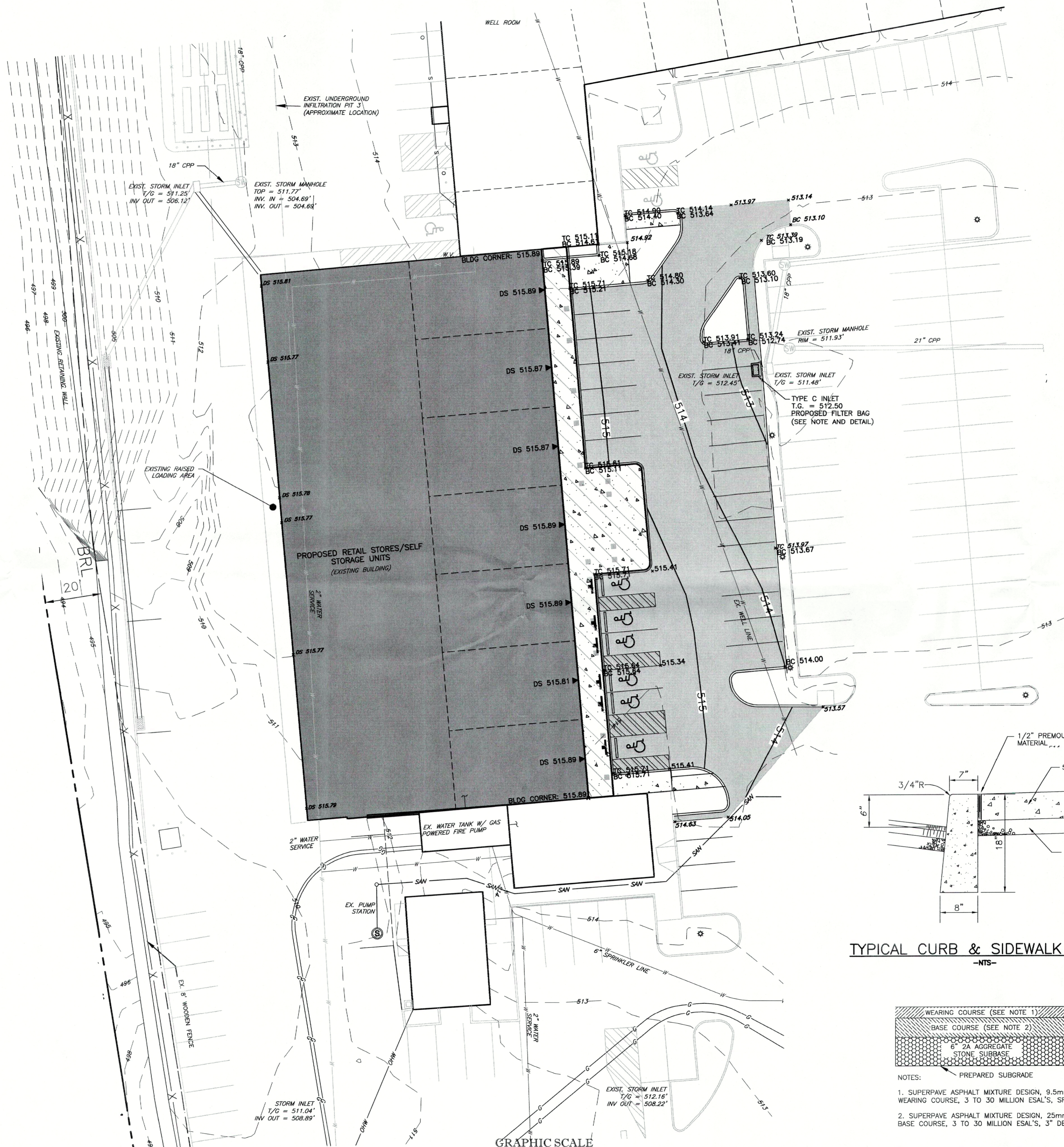


BENCHMARK

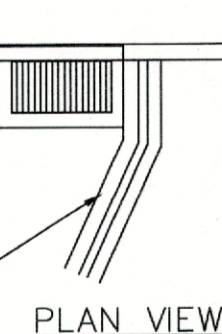
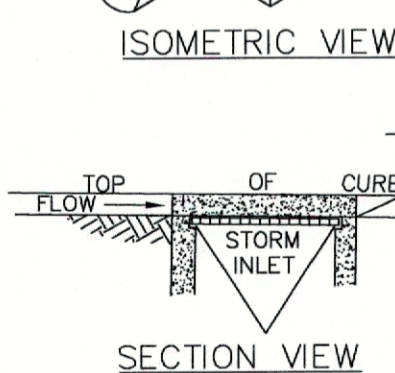
SOUTHWEST CORNER OF FUEL TANK CONCRETE SLAB
ELEV. 514.62, FROM U.S.G.S. DATUM (NEAREST CONTOUR)

NOTES:

1. APPLY SCRATCH PAVEMENT COURSES TO ACHIEVE FINAL GRADES OVER EXISTING PAVEMENT.



INSTALLATION DETAIL



NOTES:

MAXIMUM DRAINAGE AREA = 1/2 ACRE.

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

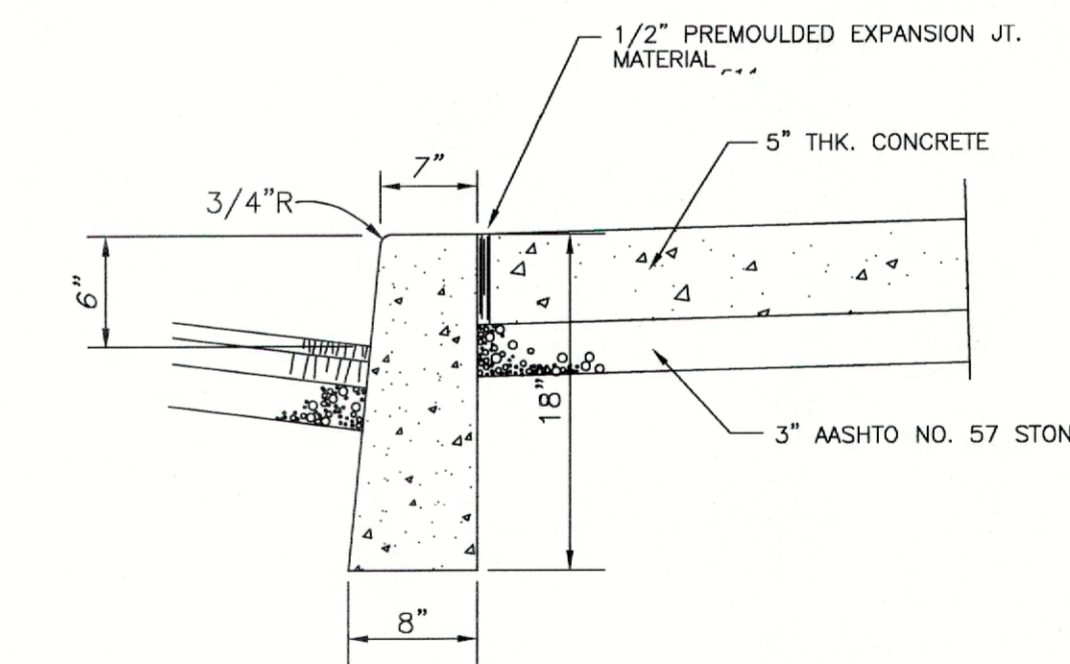
ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT. AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS, A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

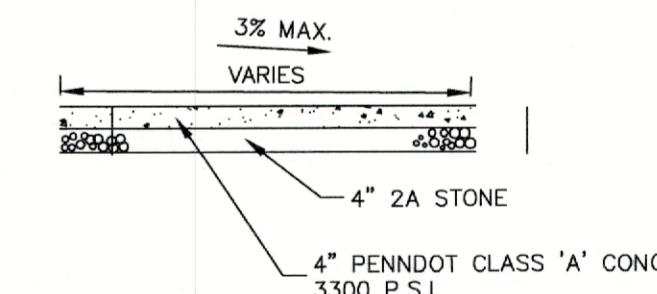
STANDARD CONSTRUCTION DETAIL #4-15 FILTER BAG INLET PROTECTION - TYPE C INLET

NOT TO SCALE



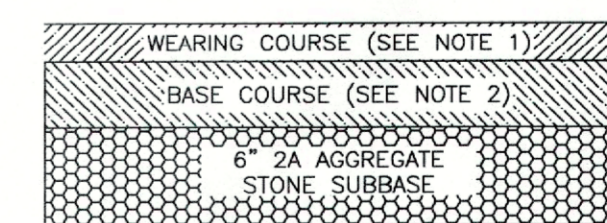
TYPICAL CURB & SIDEWALK DETAIL

-NTS-



SIDEWALK DETAIL

-NTS-



NOTES:
1. SUPERPAVE ASPHALT MIXTURE DESIGN, 9.5mm, PG 64-22, WEARING COURSE, 3 TO 30 MILLION ESAL'S, SRL H, 1.5" DEPTH.
2. SUPERPAVE ASPHALT MIXTURE DESIGN, 25mm, PG 64-22, BASE COURSE, 3 TO 30 MILLION ESAL'S, 3" DEPTH.

PAVEMENT CROSS SECTION FOR PARKING AREA AND DRIVEWAY

-NTS-

PROTECT YOURSELF

A PHONE CALL
CAN BE YOUR INSURANCE POLICY



WHAT YOU DON'T KNOW CAN HURT YOU.
PENNSYLVANIA ACT 121 REQUIRES NOTIFICATION BY EXCAVATORS,
DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S
SURFACE ANYWHERE IN THE COMMONWEALTH.

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

GRADING / DRAINAGE / EROSION CONTROL PLAN

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