

DRAWING INDEX:

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- SHEET 2 - EXISTING FEATURES PLAN (PRD, PCSM & E&S)
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- SHEET 8A - LANDSCAPE & LIGHTING PLAN (PRD)
- SHEET 8B - LANDSCAPE & LIGHTING DETAILS (PRD)

AFFIDAVIT OF PLAN SUBMISSION:

This Land Development or Preliminary Subdivision Plan was submitted by me to the MONROE COUNTY PLANNING COMMISSION for review on 12/13/11.

Brick T. Linder
Brick T. Linder, PE 37408E

CERTIFICATION OF ACCURACY, COMPLETENESS AND RESPONSIBILITY:

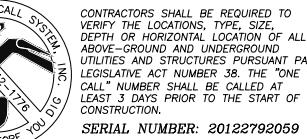
I, the undersigned, do hereby certify that the information contained in the drawings and documents submitted herewith, as well as all related drawings and documents submitted herewith, are true and correct to the accuracy required by MIDDLE SMITHFIELD TOWNSHIP in regard to the tentative plan approval for the project and were prepared by me or under my direct supervision and for which I accept full and complete responsibility.

Brick T. Linder, PE 37408E
Linder Engineering, Inc., 2603 Route 390, Canadensis, PA 18325

Brick T. Linder

OWNER/DEVELOPER:
DANSAM, LLC, SUCCESSOR TO
MONROE-PIKE LAND, LLC,
1125 FILLMORE STREET, EAST
STROUDSBURG, PA 18301.
(570)424-6870

ENGINEER:
LINDER ENGINEERING, INC
2603 RT 390
CANADENSIS, PA 18325
(570)595-6432



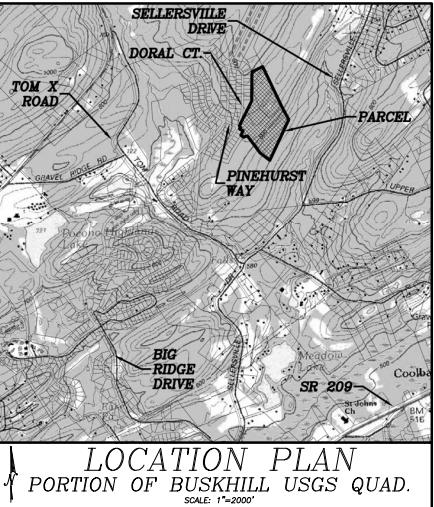
CONTRACTORS SHALL BE REQUIRED TO VERIFY THE LOCATIONS, TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF ALL ABOVE-GROUND AND UNDERGROUND UTILITIES AND STRUCTURES PURSUANT PA LEGISLATIVE ACT NUMBER 38. THE "ONE CALL" NUMBER SHALL BE CALLED AT LEAST 3 DAYS PRIOR TO THE START OF CONSTRUCTION.
SERIAL NUMBER: 20122792059

PHASE III, SECTION 5

OF THE PLANNED RESIDENTIAL
DEVELOPMENT KNOWN AS

COUNTRY CLUB OF THE POCONOS

MIDDLE SMITHFIELD TOWNSHIP
MONROE COUNTY, PA



RESTRICTIVE COVENANTS:

- THE PARCEL IS SUBJECT TO RIGHTS & RESTRICTIONS OF RECORD AS LISTED IN DECLARATION OF COVENANTS AND RESTRICTIONS RECORDED IN MONROE COUNTY RECORD BOOK 1, PAGE 100, AS THE SAME MAY FURTHER BE AMENDED HEREAFTER. THE OWNER IS DANSAM, LLC, A PENNSYLVANIA LIMITED LIABILITY COMPANY.
- THE PARCEL SHOWN ON THIS PLAN IS SUBJECT TO THE APPLICABLE MIDDLE SMITHFIELD TOWNSHIP REGULATIONS AND ORDINANCES, AS AMENDED.
- MINIMUM RESTRICTIONS:
EXTERIOR TRACT BOUNDARY BUILDING OFFSET: 100FT.
WETLAND BUFFER: 50FT.
- THE OWNER, SUCCESSORS AND ASSIGNS, UNTIL SUCH TIME AS SUCH RESPONSIBILITY IS ASSUMED BY A DULY EMPOWERED PROPERTY OWNERS ASSOCIATION WHICH SHALL MANAGE, MAINTAIN AND PROVIDE FOR THE ONGOING MAINTENANCE, OPERATION AND REPAIR OF ANY AND ALL ROADS, COMMON FACILITIES AND EASEMENTS, INCLUDING STORMWATER MANAGEMENT FACILITIES AND CONTROLS, AS DEPICTED ON THESE DRAWINGS AND DOCUMENTS SUPPORTING THE SAME, INCLUDING, BUT NOT LIMITED TO, ALL UTILITIES, DETENTION BASINS, INLETS, SWALES, PIPES, BERM'S, ETC. WHICH ARE LOCATED ON THE PROPERTY.
- AT INTERSECTIONS OF ALL STREETS, OBSTRUCTIONS OF ANY TYPE, INCLUDING VEGETATION AND DIRT, SHALL BE REMOVED AND A PLAN RESTRICTIVE COVENANT ESTABLISHED TO MAINTAIN ANY AND ALL IMPROVEMENTS PLACED SO THAT CLEAR AND UNOBSTRUCTED SIGHT IS PROVIDED FROM A POINT ON THE CENTER LINE OF THE INTERSECTING STREET 10 FEET FROM THE NEAREST EDGE OF THE TRAVELWAY PAVEMENT OF THE THROUGH STREET AND 3.5 FEET ABOVE THE PREPOSED EDGE OF THE TRAVELWAY PAVEMENT OF THE THROUGH STREET AND 4.5 FEET ABOVE THE PREPOSED EDGE OF THE APPROACHING LANE OF THE THROUGH STREET AT A 45 DEGREE CENTER OF THE APPROACHING LANE, OF 250 FEET TO THE LEFT AND 200 FEET TO THE RIGHT.
- WETLAND BUFFER (50' FROM EDGE OF WETLAND): NO DEVELOPMENT, FILLING, PIPING OR DIVERTING SHALL BE PERMITTED WITHIN WETLANDS, EXCEPT FOR ROAD OR UTILITY CROSSINGS APPROVED BY THE TOWNSHIP. WHERE STATE AND FEDERAL PERMITS HAVE BEEN OBTAINED, THE PROPERTY REPRESENTS THE LEAST POSSIBLE DISTURBANCE AND NO OTHER ACCESS IS AVAILABLE.
- THE TENTATIVE PRD APPROVAL FROM 1988 PROVIDED FOR A MAXIMUM OF 2,950 UNITS WITHIN BIG RIDGE OR COUNTRY CLUB OF THE POCONOS (CCP). THIS TENTATIVE APPROVAL WAS AMENDED ON SEPTEMBER 25, 2001 AT WHICH TIME THE TOTAL NUMBER OF UNITS WAS REDUCED TO 1600 BASED ON THE 2001 AMENDED TENTATIVE PLAN. A TOTAL OF 928 UNITS ARE APPROVED FOR THE PORTION OF CCP NORTH OF TOM X ROAD (CCP NORTH THE PROPERTY OF CCP NORTH (P.D. 5) WHICH IS NOW REFERRED TO AS PHASE III, SECTION 5 - BEING LISTED AS HAVING A DEPTH OF 4 UNITS PER ACROSS THE PROPERTY. THE FINAL UNIT COUNT FOR PHASE III, SECTION 5 IS LIMITED TO 115 UNITS AND 70 ARE CONTAINED ON THESE PLANS.
- ACCESS TO THE PARCEL FROM THE PUBLIC PORTION OF BIG RIDGE DRIVE FOR THE NON-EXCLUSIVE USE OF THE OWNER AND ALL PRESENT AND FUTURE OWNERS OF PROPERTY WITHIN CCP PROVIDED AS SET FORTH IN THE TENTATIVE APPROVAL FROM MIDDLE SMITHFIELD TOWNSHIP (MONROE COUNTY RECORD BOOK 2366, PAGE 9400) AND THAT CERTAIN EASEMENT RECORDED IN MONROE COUNTY RECORD BOOK 2366, PAGE 7115.
- ALL LANDS IDENTIFIED AS "OPEN SPACE" AREA AND ALL COMMON AREA ARE INTENDED TO, AND SHALL BE CONVEYED TO A DULY EMPOWERED PROPERTY OWNERS ASSOCIATION WHICH OWNER SHALL DESIGNATE. ALL LANDS DESIGNATED AS "OPEN SPACE" SHALL BE LIMITED IN USE IN ACCORDANCE WITH THE DECISION OF THE BOARD OF SUPERVISORS OF MIDDLE SMITHFIELD TOWNSHIP DATED JUNE 9, 1988, GRANTING PLANNED RESIDENTIAL DEVELOPMENT TENTATIVE APPROVAL AS AMENDED.
- THE 50' UNDISTURBED VEGETATED BUFFER SHALL BE PRESERVED AND REMAIN UNDISTURBED TO THE MOUNTAIN AND UNDISTURBED VEGETATED BUFFER ALONG THE TRACT PERIMETER TO THE EXTENT SHOWN ON THE LAND DEVELOPMENT PLANS.
- THE FINAL DESIGN AND USE OF THE PROPOSED RECREATION AREAS SHALL BE THE RESPONSIBILITY OF THE MEMBERS OF THE DULY EMPOWERED PROPERTY OWNERS ASSOCIATION.
- THE OWNER, SUCCESSORS AND ASSIGNS GRANT THE RIGHT OF INGRESS, EGREG AND REGRESS TO MIDDLE SMITHFIELD TOWNSHIP AS NECESSARY FOR PERIODIC INSPECTIONS OF THE STORM PIPE, SEWER, MANHOLES, DETENTION BASIN 1, PCSM BASIN 5-1, PCSM BASIN 5-2 AND RELATED OUTLET STRUCTURES AS SHOWN ON DRAWINGS 5A - 5D, THEN MIDDLE SMITHFIELD TOWNSHIP IS HEREBY GRANTED THE RIGHT OF INGRESS, EGREG AND REGRESS TO AS NECESSARY TO ACCESS AND MAINTAIN THESE STORMWATER IMPROVEMENTS.
- IF THE OWNER, SUCCESSORS AND ASSIGNS, INCLUDING BUT NOT LIMITED TO DULY EMPOWERED PROPERTY OWNERS ASSOCIATION, DEFAULT ON MAINTAINING THE STORM PIPES, INLETS, MANHOLES, DETENTION BASIN 1, PCSM BASIN 5-1, PCSM BASIN 5-2 AND RELATED OUTLET STRUCTURES AS SHOWN ON DRAWINGS 5A - 5D, THEN MIDDLE SMITHFIELD TOWNSHIP IS HEREBY GRANTED THE RIGHT OF INGRESS, EGREG AND REGRESS TO AS NECESSARY TO ACCESS AND MAINTAIN THESE STORMWATER IMPROVEMENTS.
- ALL PROPOSED ELECTRIC AND COMMUNICATION UTILITIES SHALL BE DESIGNED, LOCATED, AND CONSTRUCTED BY THE UTILITY HAVING JURISDICTION. ALL APPLICABLE CODES AND REGULATIONS SHALL BE FOLLOWED.
- ALL TRAFFIC SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH PENN DOT TC (PUBLICATION 11M) SERIES STANDARDS.
- ALL PROPOSED PIPING SHALL BE COATED BORE PIPE (AOD 4-12, HICORE SURFACE) OR EQUAL. ALL INLETS SHALL BE PENN DOT STANDARD PRE-CAST CONCRETE BOXES WITH STANDARD TYPE "C" OR "M" INLET TOPS AND STEEL BICYCLE-PROOF GRATES AS APPROPRIATE.
- ANY DISTURBED, NON-LANDSCAPED AREAS SHALL BE SEADED AND MULCHED ACCORDING TO THE APPROPRIATE PERMANENT SEEDING SPECIFICATION.

GENERAL NOTES:

- OWNER & APPLICANT: DANSAM, LLC, SUCCESSOR TO MONROE-PIKE LAND, LLC, 1125 FILLMORE STREET, EAST STROUDSBURG, PA 18301.

- DEED REFERENCE: RBV 2399, PAGE 6267 (DEED FROM MONROE-PIKE LAND, LLC TO DANSAM, LLC) AND RBV 2387, PAGE 9480 (TOWNSHIP OF MIDDLE SMITHFIELD TO MONROE-PIKE LAND, LLC). THE PARCEL IS SUBJECT TO ANY APPLICABLE RESTRICTIONS OF RECORD.

- PARCEL TAX INFORMATION - TAX ID: 09/10/1/83, PIN: 09-7334-00-33-1005, BEING THE JOINTURE OF TAX ID: 09/10/1/83, TAX ID: 09/10/1/66 AND 09/10/1/85-1.

- THE GROSS AREA IS 28.87 AC.

- ZONING DISTRICT: PRD.

- THE BASE INFORMATION SHOWN HEREON WAS PROVIDED BY FRANK SMITH JR., INC., REGISTERED SURVEYORS, MARSHALLS CREEK, PA.

- ALL TOPOGRAPHY SHOWN HEREON IS BASED ON NAD 29 DATUM AND WAS PREPARED FROM AERIAL PHOTOGRAPHY.

- ALL SOILS SHOWN HEREON WERE SUPERIMPOSED FROM THE SOIL SURVEY OF MONROE COUNTY.

- ALL WETLAND SHOWN HEREON WAS DELINEATED BY FX BROWNE, INC. AND LOCATED BY FIELD SURVEY IN THE JURISDICTION OF MIDDLE SMITHFIELD TOWNSHIP, MONROE COUNTY, PA. THE WETLAND LINES SHOWN HEREON IS SUBJECT TO CHANGE BASED ON CONFIRMATION WITH THE JD.

- THE PARCEL FALLS WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 500-YR. FLOOD PLAIN) PER FIRM PANEL 4218900025B.

- THE INTENT OF THIS DRAWING IS TO SHOW THE PLANNED RESIDENTIAL DEVELOPMENT OF THE PHASE III, SECTION 5 OF THE PLANNED RESIDENTIAL DEVELOPMENT KNOWN AS COUNTRY CLUB OF THE POCONOS.

- WATER SERVICE WILL BE FROM THE PENNSYLVANIA AMERICAN WATER COMPANY AND SEWER SERVICE WILL BE FROM MIDDLE SMITHFIELD TOWNSHIP.

- MINIMUM REQUIREMENTS:
ROAD LANE WIDTH: 11FT.
GRASS BUFFER: 5FT.
CONCRETE SIDEWALK: 4FT.

- ALL WORK SHALL COMPLY WITH ALL APPLICABLE SECTIONS OF THE MIDDLE SMITHFIELD TOWNSHIP ORDINANCES.

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING AND CONTACT AND COORDINATE WITH THE MIDDLE SMITHFIELD TOWNSHIP, MONROE COUNTY CONSERVATION DISTRICT, PENNSYLVANIA AMERICAN WATER AND ALL OTHER APPLICABLE UTILITY COMPANIES SO THAT ALL CONSTRUCTION IS WITNESSED AND COORDINATED WITH APPLICABLE AGENCIES.

- ALL DRIVE, ROADWAY AND DRAINAGE MATERIALS AND CONSTRUCTION SHALL CONFORM WITH PENN DOT FORM 408 SPECIFICATIONS.

- ANY TOPSOIL AND ORGANIC MATERIAL MUST BE REMOVED FROM THE PROPOSED STREET, BUILDING, PARKING AND DRIVE AREAS AND STOCKPILED FOR USE FOR FINAL GRADING AND SEEDING. ANY EXCESS MATERIAL SHALL BE REMOVED AND/OR RE-GRADED ON-SITE AND PROPERLY DISPOSED.

- ANY NEEDED OR EXCESS MATERIAL REQUIRED TO ACHIEVE THE PROPOSED ELEVATION FOR THE BUILDING AND DRIVEWAY SURFACES SHALL BE IMPORTED OR REMOVED FROM THE SITE. ANY MATERIAL IMPORTED SHALL BE SUITABLE, WELL-DRAINED, FREE OF LARGE STONES, AND BE ADEQUATELY COMPACTED. ANY MATERIAL HAULED OFF-SITE SHALL BE PROPERLY DISPOSED.

- PRIOR TO CONSTRUCTION, UTILITIES SHALL BE CONTACTED TO AVOID INTERFERENCES. THE "ONE CALL" NUMBER (800-242-1776) SHALL BE CALLED AT LEAST 3 DAYS PRIOR TO THE START OF CONSTRUCTION. REFER TO THE UTILITY REFERENCES TABLE FOR UTILITIES PREVIOUSLY IDENTIFIED IN THE AREA.

- ALL PROPOSED ELECTRIC AND COMMUNICATION UTILITIES SHALL BE DESIGNED, LOCATED, AND CONSTRUCTED BY THE UTILITY HAVING JURISDICTION. ALL APPLICABLE CODES AND REGULATIONS SHALL BE FOLLOWED.

- ALL TRAFFIC SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH PENN DOT TC (PUBLICATION 11M) SERIES STANDARDS.

- ALL PROPOSED PIPING SHALL BE COATED BORE PIPE (AOD 4-12, HICORE SURFACE) OR EQUAL. ALL INLETS SHALL BE PENN DOT STANDARD PRE-CAST CONCRETE BOXES WITH STANDARD TYPE "C" OR "M" INLET TOPS AND STEEL BICYCLE-PROOF GRATES AS APPROPRIATE.

- ANY DISTURBED, NON-LANDSCAPED AREAS SHALL BE SEADED AND MULCHED ACCORDING TO THE APPROPRIATE PERMANENT SEEDING SPECIFICATION.

CERTIFICATION OF OWNERSHIP AND ACKNOWLEDGMENT OF PLAN:

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF MONROE

On the _____ DAY OF _____, 20____, before me, the undersigned officer, personally appeared _____, who being duly sworn, according to law, doth depose and say that they are an authorized officer of the applicant, DANSAM, LLC, who is the owner of the property shown and depicted on this plan, that this Planned Residential Development Plan was made at their direction, that DANSAM, LLC acknowledges the same to be recorded according to law.

MIDDLE SMITHFIELD TOWNSHIP BOARD OF SUPERVISORS CERTIFICATE OF REVIEW AND APPROVAL:

At a public meeting held on _____, 20____, the BOARD OF SUPERVISORS OF MIDDLE SMITHFIELD TOWNSHIP reviewed and by a motion, duly carried, does hereby approve, endorse and seal the said Planned Residential Development plan for PHASE III, SECTION 5 OF THE PLANNED RESIDENTIAL DEVELOPMENT KNOWN AS COUNTRY CLUB OF THE POCONOS, as shown herein.

Chairman _____

Supervisor _____

Supervisor _____

MIDDLE SMITHFIELD TOWNSHIP PLANNING COMMISSION CERTIFICATE OF REVIEW AND APPROVAL:

At a public meeting held on _____, 20____, the PLANNING COMMISSION OF MIDDLE SMITHFIELD TOWNSHIP reviewed and by a motion, duly carried, does hereby recommend approval of the said Planned Residential Development plan for PHASE III, SECTION 5 OF THE PLANNED RESIDENTIAL DEVELOPMENT KNOWN AS COUNTRY CLUB OF THE POCONOS, as shown herein.

Chairman _____

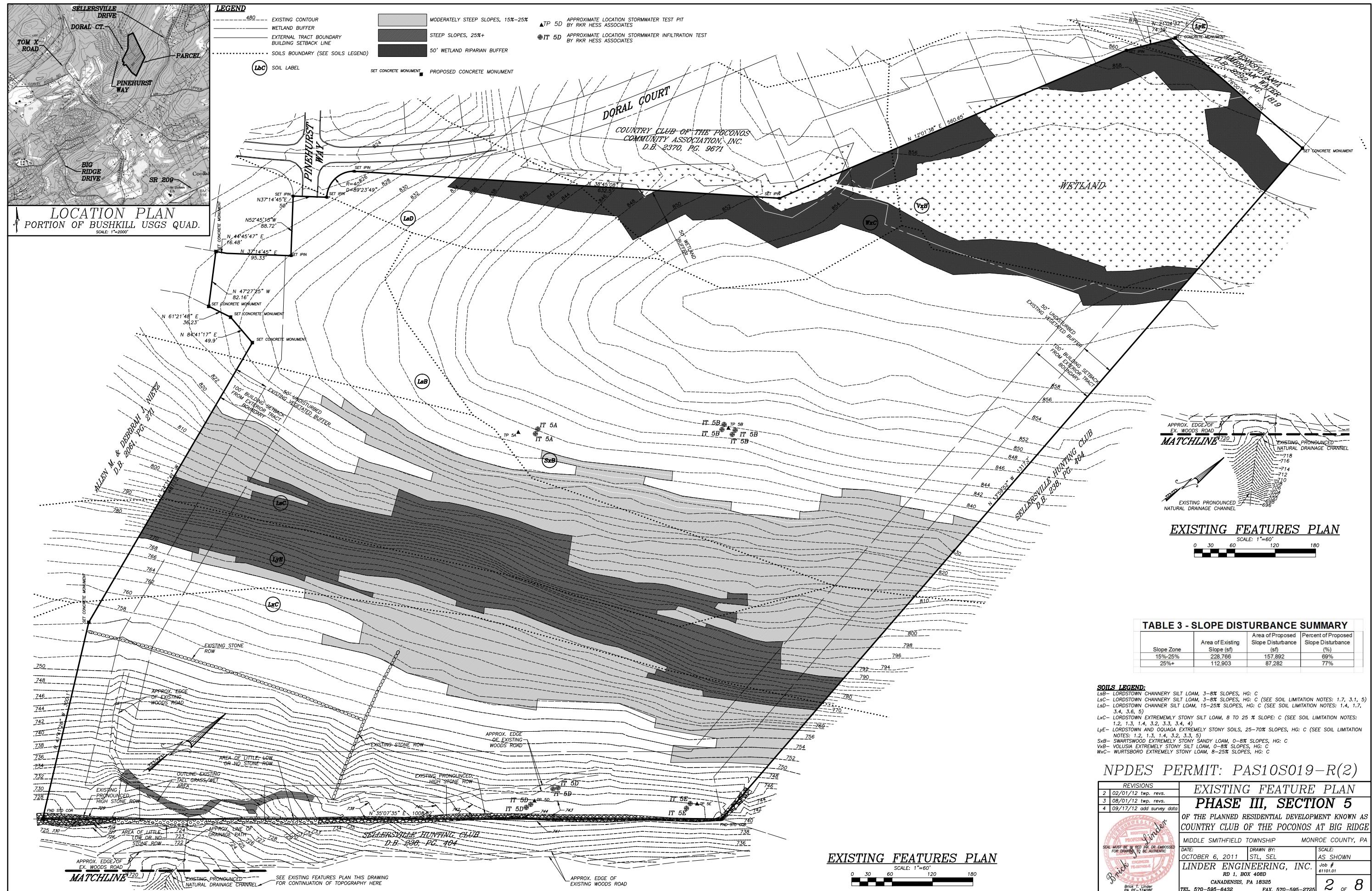
Secretary _____

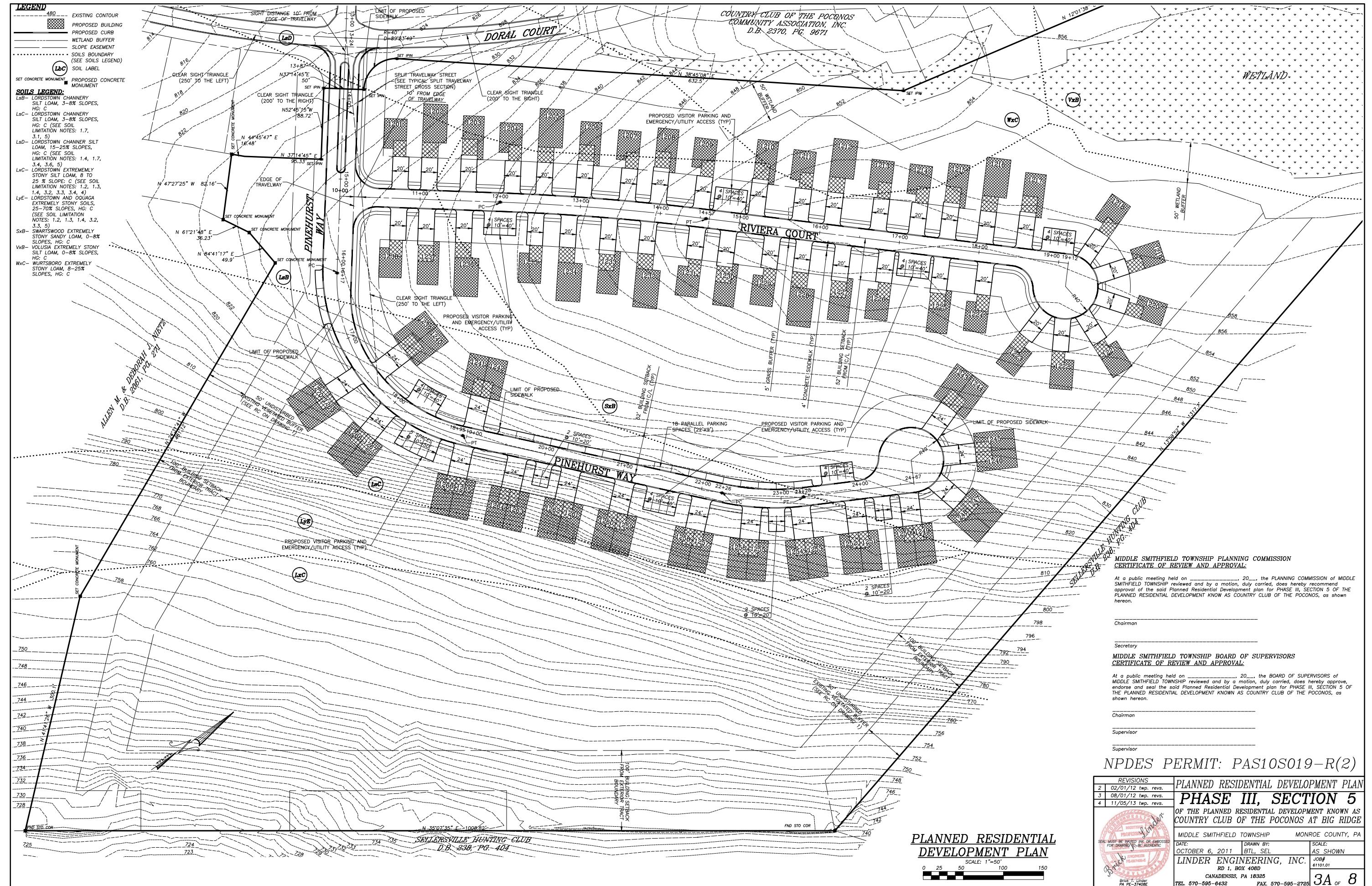
LIST OF REQUESTS FOR MODIFICATION FOR THE PROJECT:

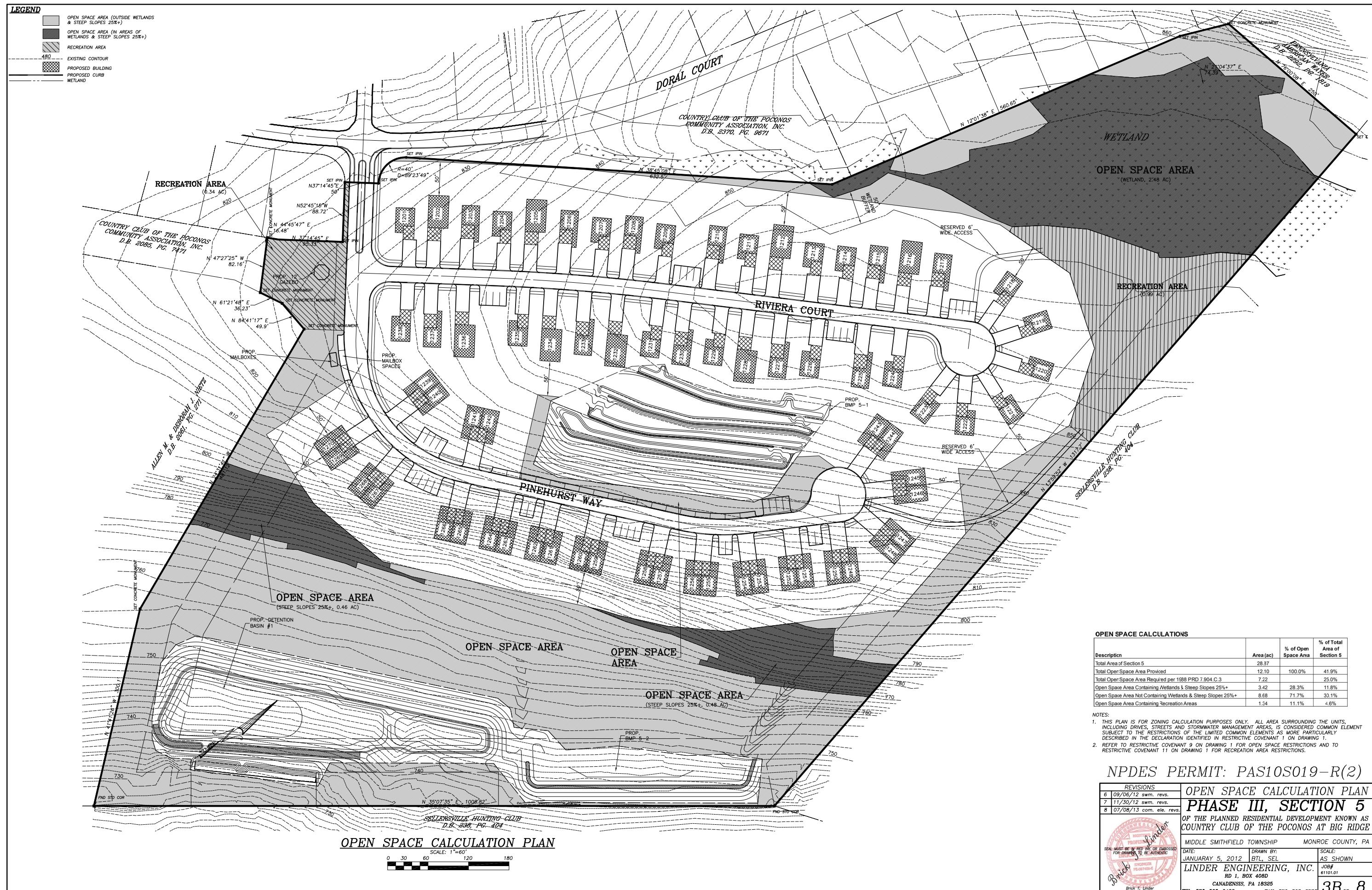
MODIFICATION	SALDO OR PRD SECTION
#15 PARKING CONFIGURATION	1988 PRD SECTION 7.906G AND 7.906H
#20 SLOPE DISTURBANCE	SALDO SECTION 170-41C
#23 CUL-DE-SAC NUMBER OF UNITS	SALDO SECTION 170-45D2.a.2
#33 ROADWAY BASE COURSE DEPTH	SALDO SECTION 170-78 (TABLE 4-2)
#34 CARTWAY WIDTH	SALDO SECTION 170-78 (TABLE 3-1)

NPDES PERMIT: PAS10S019-R(2)

REVISIONS	OVERALL PLAN
5 07/08/13 index revs.	
6 11/05/13 twp. revs.	
7 11/21/13 twp. revs.	
	PHASE III, SECTION 5
	OF THE PLANNED RESIDENTIAL DEVELOPMENT KNOWN AS THE COUNTRY CLUB OF THE POCONOS AT BIG RIDGE
	MIDDLE SMITHFIELD TOWNSHIP MONROE COUNTY, PA
	DATE: OCTOBER 6, 2011 DRAWN BY: BTL, SEL SCALE: AS SHOWN
	LINDER ENGINEERING, INC. RD 1, BOX 408D CANADENSIS, PA 18325 TEL: 570-595-6432 FAX: 570-595-2725





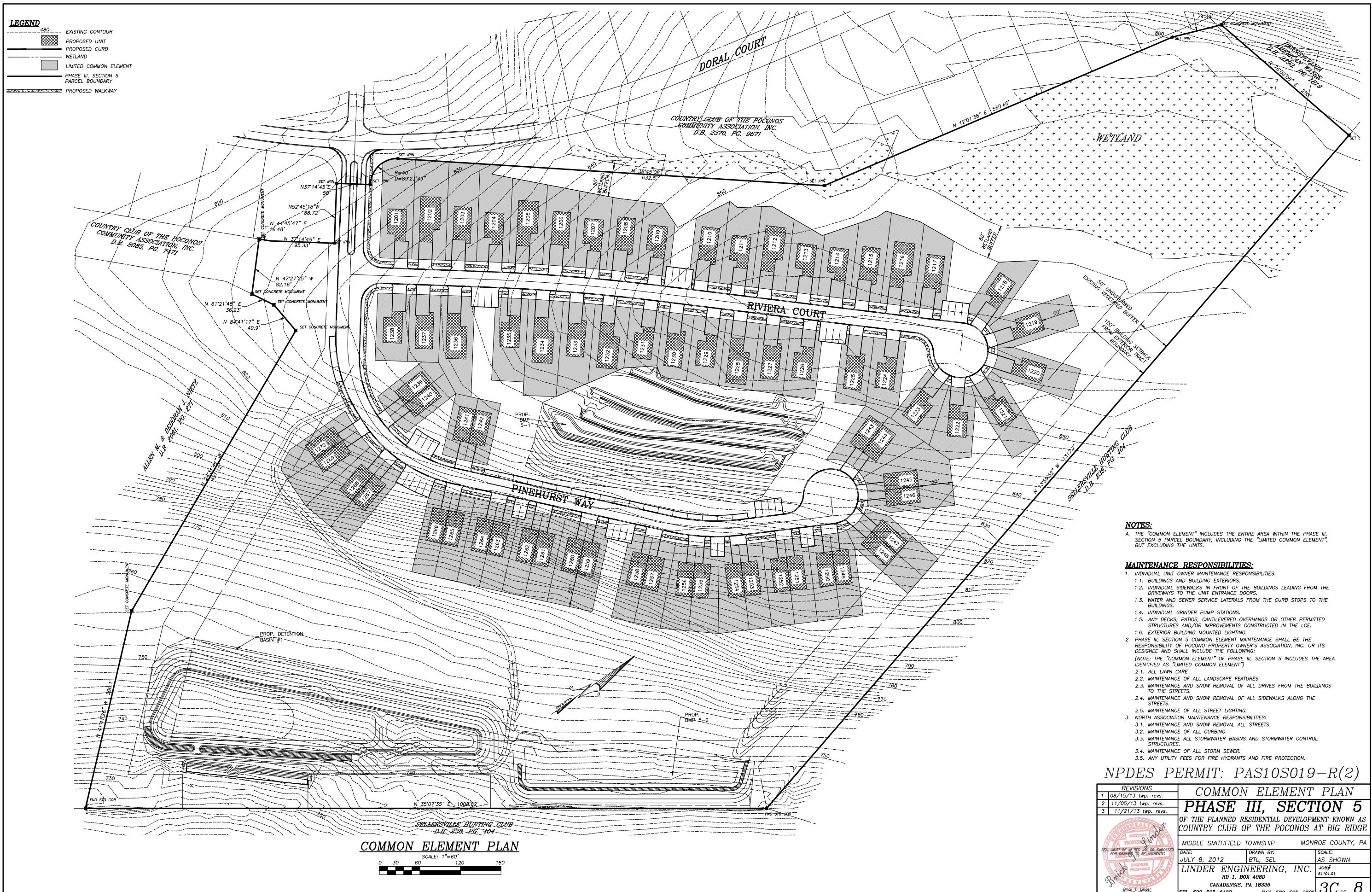


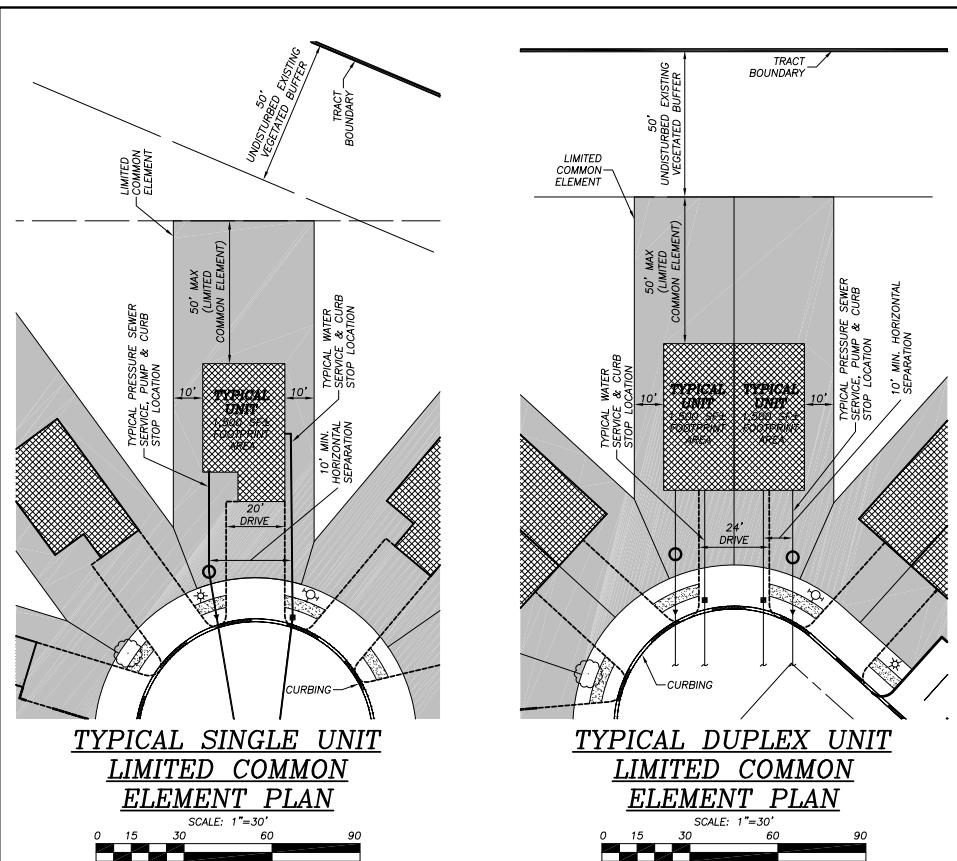
OPEN SPACE CALCULATIONS			
Description	Area (ac)	% of Open Space Area	% of Total Area of Section 5
Total Area of Section 5	28.37		
Total Open Space Area Provided	12.10	100.0%	41.9%
Total Open Space Area Required per 1988 PRD 7.904 C.3	7.22		25.0%
Open Space Area Containing Wetlands & Steep Slopes 25%+	3.42	28.3%	11.8%
Open Space Area Not Containing Wetlands & Steep Slopes 25%+	8.68	71.7%	33.1%
Open Space Area Containing Nonwetland Areas	4.24	11.4%	1.5%

OTES:
THIS PLAN IS FOR ZONING CALCULATION PURPOSES ONLY. ALL AREA SURROUNDING THE UNITS, INCLUDING DRIVES, STREETS AND STORMWATER MANAGEMENT AREAS, IS CONSIDERED COMMON ELEMENT SUBJECT TO THE RESTRICTIONS OF THE LIMITED COMMON ELEMENTS AS MORE PARTICULARLY DESCRIBED IN THE DECLARATION OF COVENANTS IDENTIFIED IN RESTRICTIVE COVENANT 1 ON DRAWING 1.
REFER TO RESTRICTIVE COVENANT 9 ON DRAWING 1 FOR OPEN SPACE RESTRICTIONS AND TO

NPDES PERMIT: PAS10S019-R(2)

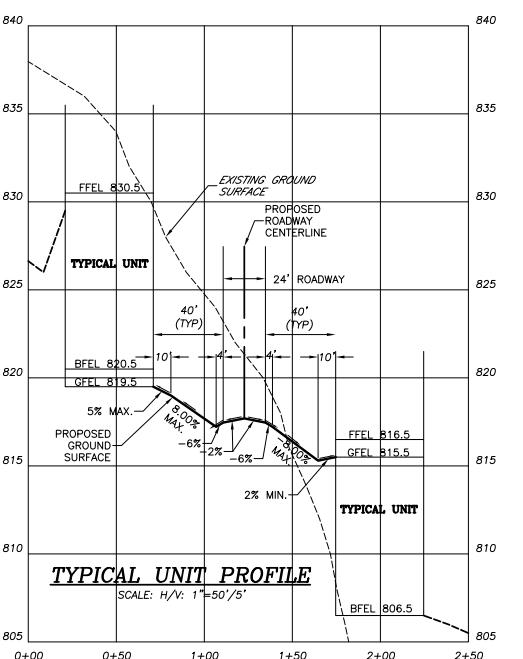
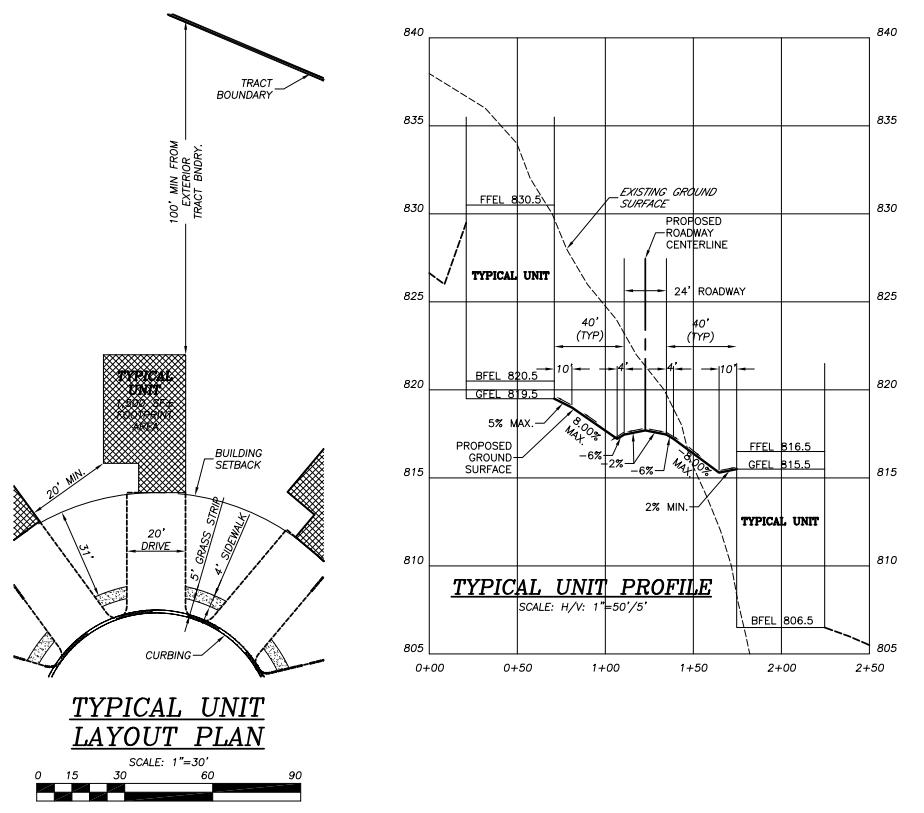
REVISIONS		OPEN SPACE CALCULATION PLAN		
6	09/06/12	swm. revs.		
7	11/30/12	swm. revs.		
8	07/08/13	com. ele. revs.		
 Brick		PHASE III, SECTION 5 OF THE PLANNED RESIDENTIAL DEVELOPMENT KNOWN AS COUNTRY CLUB OF THE POCONOS AT BIG RIDGE		
MIDDLE SMITHFIELD TOWNSHIP			MONROE COUNTY, PA	
DATE: JANUARY 5, 2012		DRAWN BY: BTL, SEL	SCALE: AS SHOWN	
LINDER ENGINEERING, INC. RD 1, BOX 408D CANADASIS, PA 18325				JOB# 61101.01
TEL: 570-525-0200 FAX: 570-525-0201				





LEGEND

- PROPOSED UNIT (INCLUDING GARAGE)
- PROPOSED CURB
- LIMITED COMMON ELEMENT
- TYPICAL FIRE HYDRANT LOCATION
- TYPICAL LIGHT POLE LOCATION
- TYPICAL STREET TREE LOCATION
- TYPICAL WATER SERVICE CURB STOP LOCATION
- TYPICAL SEWER SERVICE CURB STOP LOCATION
- TYPICAL SEWER SERVICE GRINDER PUMP LOCATION
- PROPOSED WALKWAY
- PROPOSED EDGE OF DRIVE



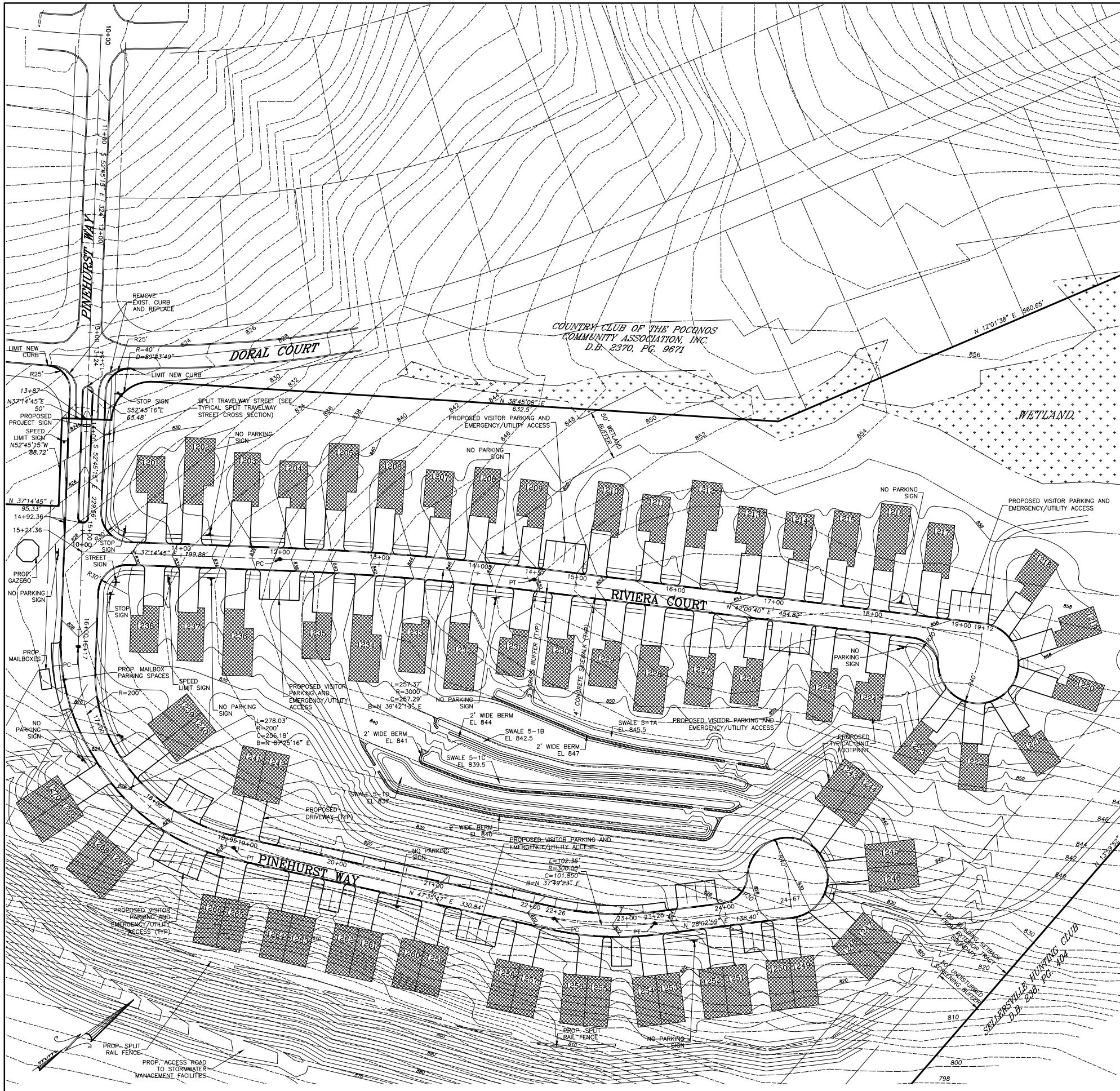
NPDES PERMIT: PAS10S019-R(2)

REVISIONS		TYPICAL UNIT DETAILS	
		PHASE III, SECTION 5	
OF THE PLANNED RESIDENTIAL DEVELOPMENT KNOWN AS COUNTRY CLUB OF THE POCONOS AT BIG RIDGE			
MIDDLE SMITHFIELD TOWNSHIP		MONROE COUNTY, PA	
DATE: JULY 8, 2012		DRAWN BY: BTL, SEL	SCALE: AS SHOWN
LINDER ENGINEERING, INC.		JOB # 61101.01	PE-37408E
TEL. 570-595-6432		CANADENSIS, PA 18325	

Brick T. Linder
LINDER ENGINEERING, INC.
PE-37408E

3D of 8

Duplication or alteration of this drawing is prohibited unless otherwise approved by Linder Engineering, Inc.



LEGEND

- 480 EXISTING CONTOUR
- PROPOSED BUILDING
- PROPOSED CURB
- WETLAND BUFFER
- EXTERNAL TRACT BOUNDARY BUILDING SETBACK LINE



RIVERIA COURT

6"X30"

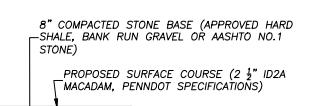
PINEHURST WAY

6"X30"

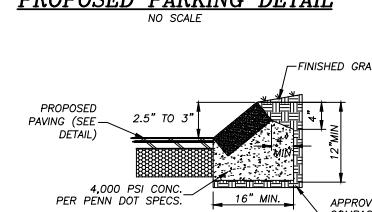


STREET SIGN DETAIL

NO SCALE
NOTE: THIS DETAIL APPLIES TO ALL STREET NAME SIGNS, STOP SIGNS, DIRECTIONAL SIGNS, TRAFFIC CONTROL SIGNS, ETC. SIGN MATERIALS AND INSTALLATION SHALL CONFORM WITH PENN DOT FORM 408 SPECIFICATIONS.

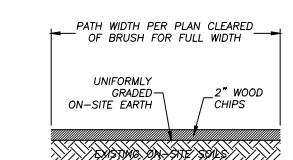


PROPOSED PARKING DETAIL



PROPOSED MOUNTABLE GRANITE BLOCK CURB DETAIL

NO SCALE
NOTE: JOINTS TO BE CLEANED AND DAMP PRIOR TO MORTARING



PROPOSED PATH DETAIL

NO SCALE
NOTES:
1. PATH WIDTH SHALL BE PER THE PLAN.
2. GROUND VEGETATION AND BRUSH SHALL BE CLEARED AND GRADED TO THE EXISTING GROUND SURFACE FOR THE FULL WIDTH OF THE PATHS.
3. EXISTING ON-SITE SOILS SHALL BE UNIFORMLY GRADED WITHIN THE PATH.
4. PATHS SHALL BE SURFACED WITH 2" WOOD CHIPS.



PROPOSED SIDEWALK DETAIL

NO SCALE
NOTES: CONCRETE SIDEWALK SHALL SMOOTHLY TIE INTO EXISTING SURROUNDING AREAS AND SHALL BE PROVIDED W/ CONTROL JOINTS @ 5 FT. O.C. AND EXPANSION JOINTS AT 20 FT. (MAX. O.C. EACH WAY).

NPDES PERMIT: PAS10S019-R(2)

ROAD LAYOUT PLAN	
PHASE III, SECTION 5	
OF THE PLANNED RESIDENTIAL DEVELOPMENT KNOWN AS	
COUNTRY CLUB OF THE POCONOS AT BIG RIDGE	
MIDDLE SMITHFIELD TOWNSHIP MONROE COUNTY, PA	
DATE: OCTOBER 6, 2011 DRAWN BY: BTL, SEL SCALE: AS SHOWN	
LINDER ENGINEERING, INC. JOE# 61101.01	
RD 1, BOX 408D CANADENIS, PA 18325 TEL: 570-595-6432 FAX: 570-595-2725	

REVISIONS

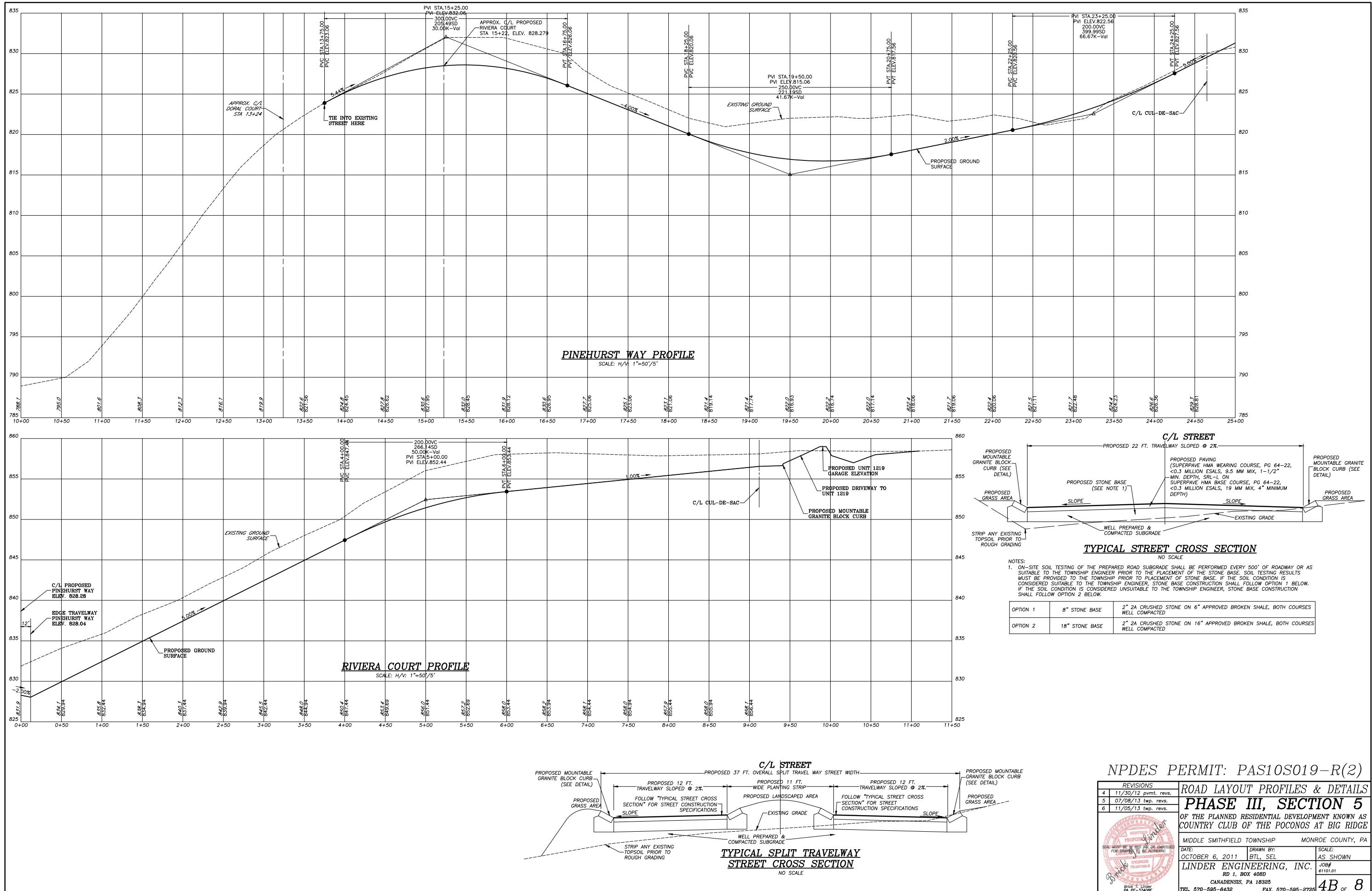
6	10/04/12 misc. revs.
7	07/08/13 com. ele. revs.
8	11/21/13 twp. revs.

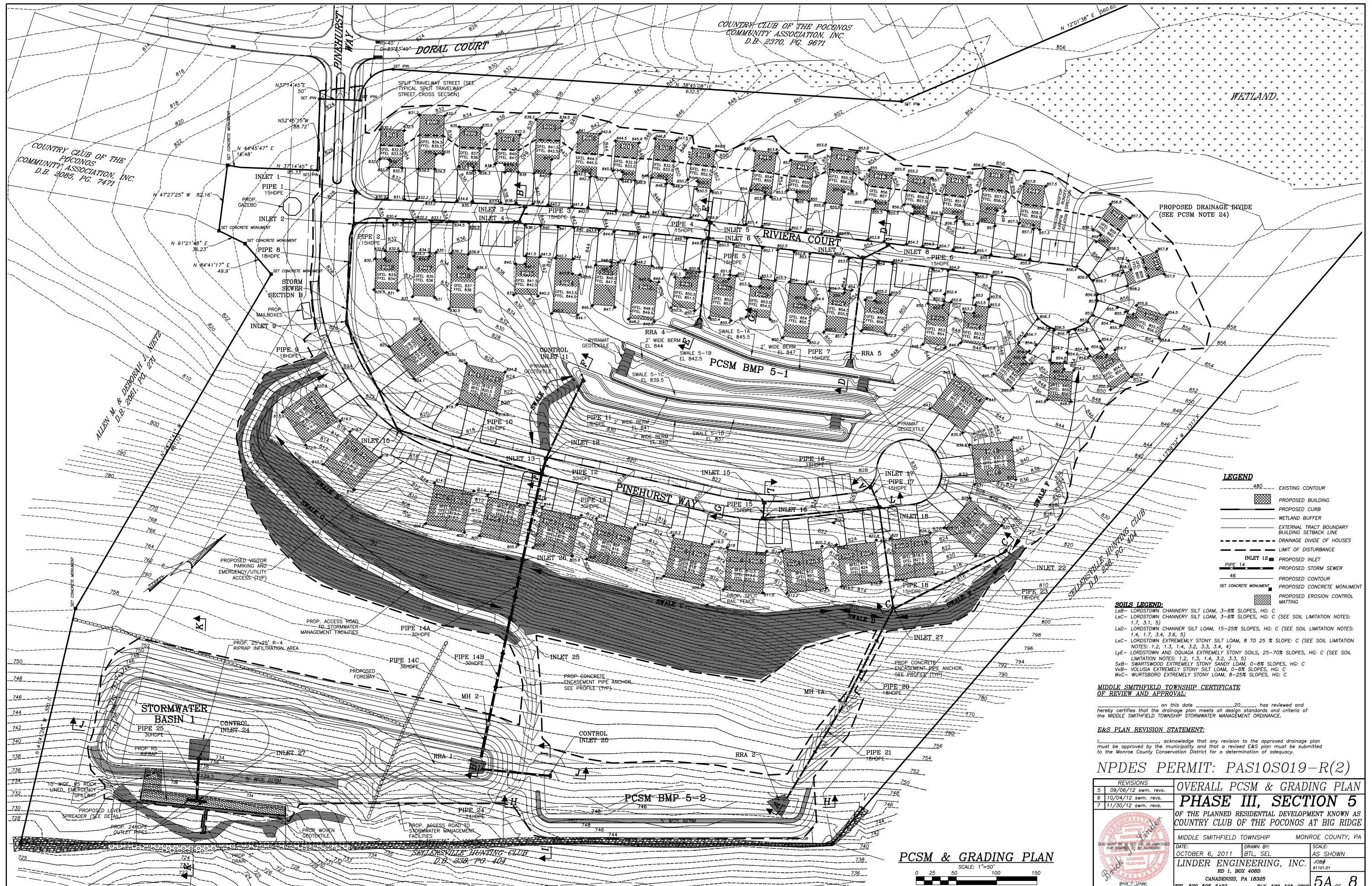
Brick T. Linder, P.E. *Linder*
REGISTERED PROFESSIONAL ENGINEER
LINDER PEAKABLE, INC.

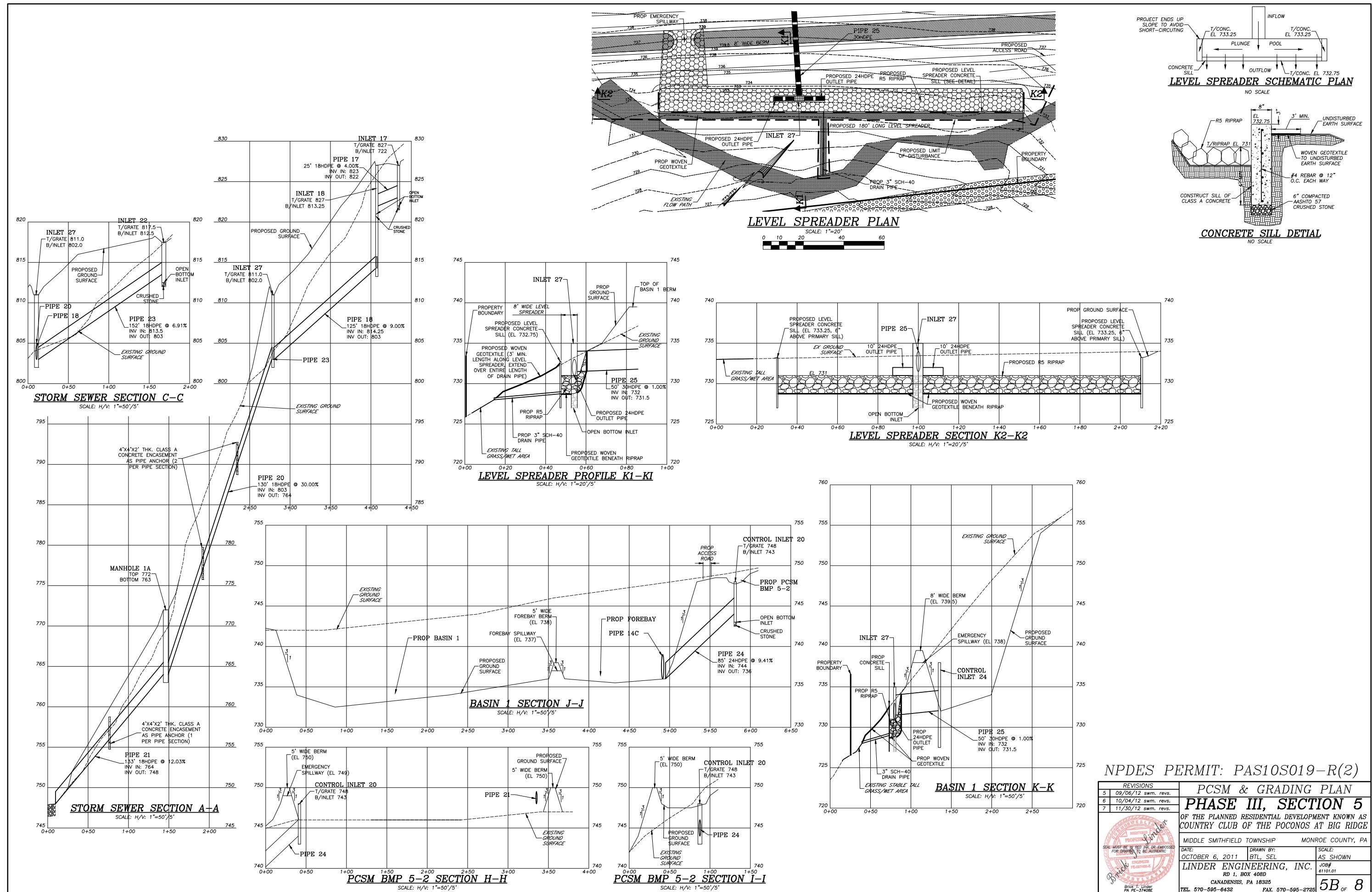
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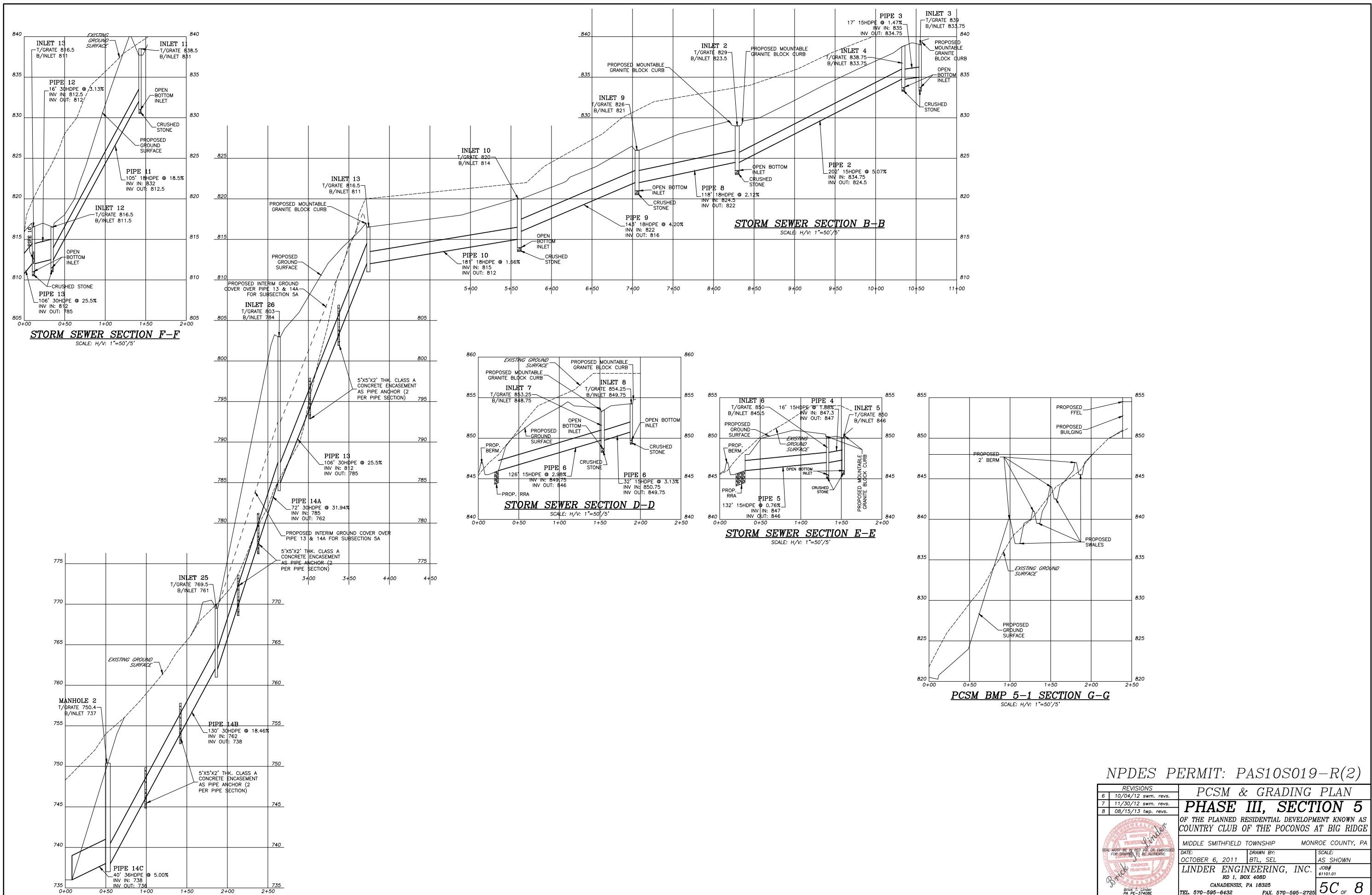
Brick T. Linder, P.E. *Linder*
REGISTERED PROFESSIONAL ENGINEER
LINDER PEAKABLE, INC.

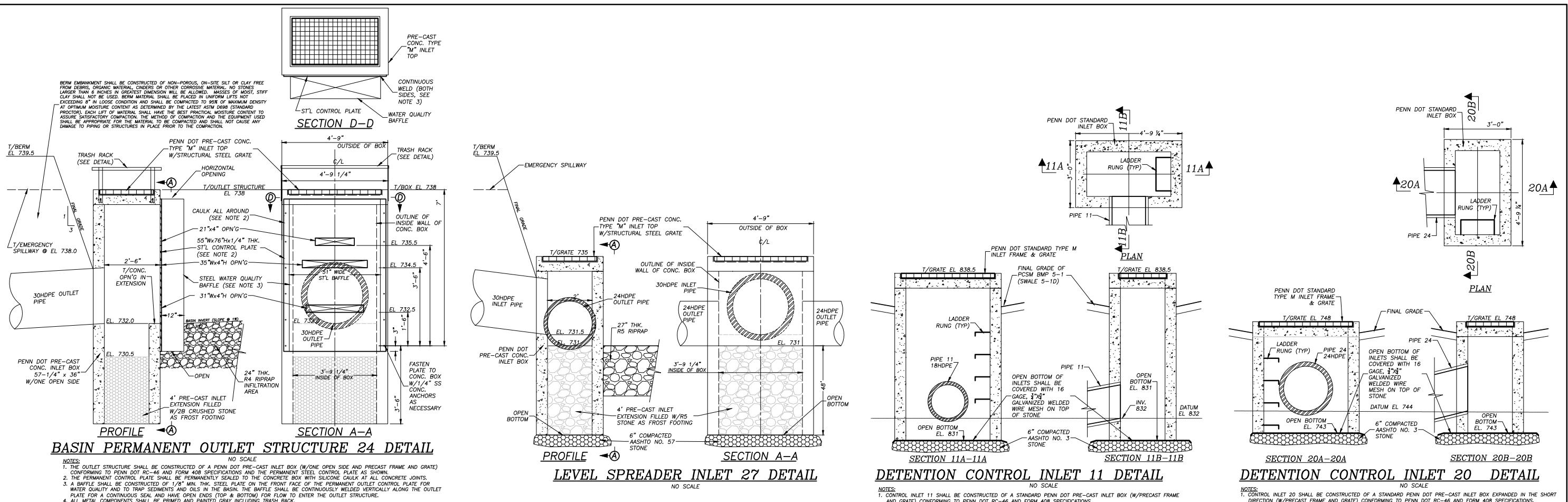
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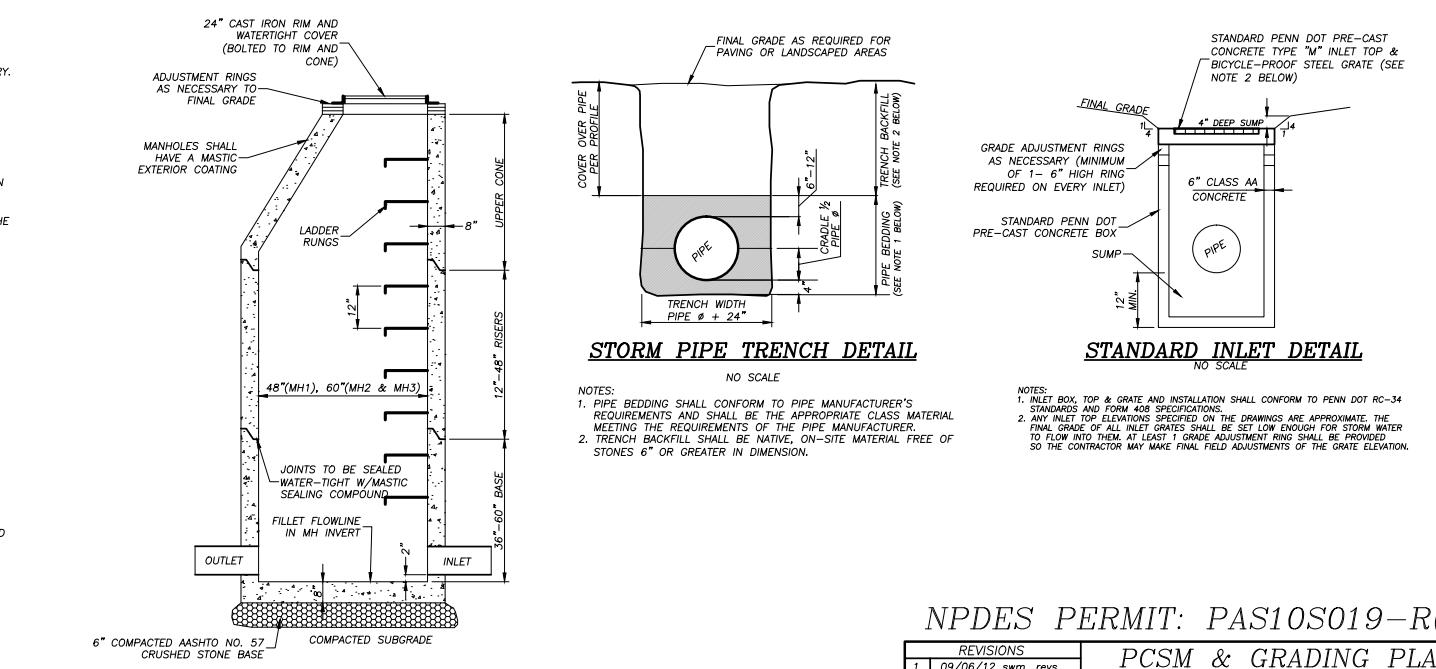
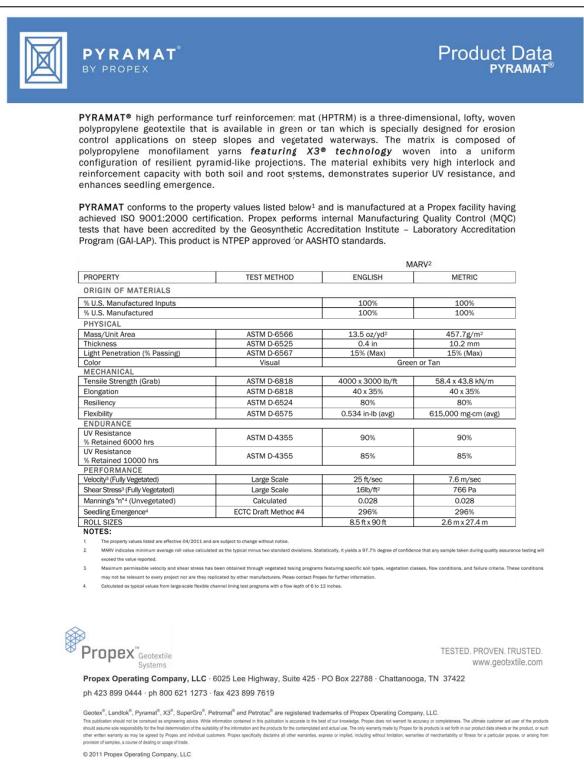








PCSM BMP 5-1 SPILLWAY LINING SPEC



STORM MANHOLE DETAIL



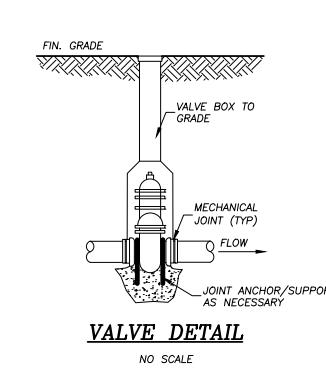
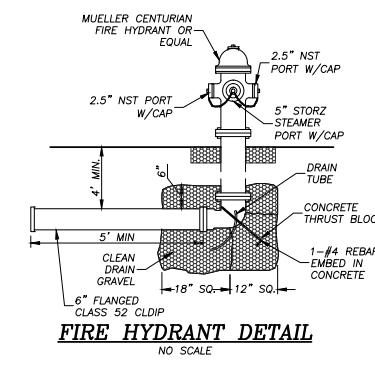
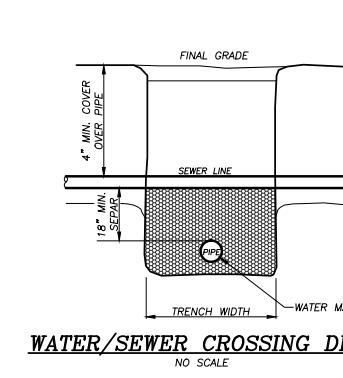
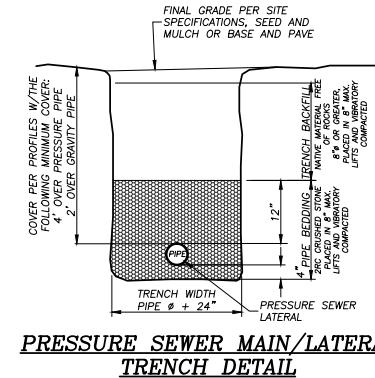
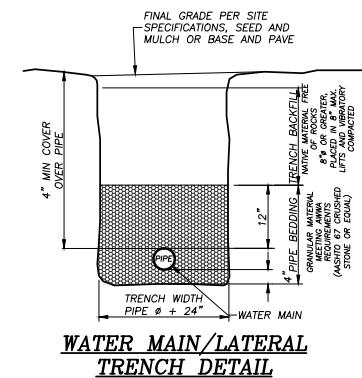


LEGEND

- 480 EXISTING CONTOUR
- PROPOSED RESIDENTIAL BUILDING
- PROPOSED CURB
- PROPOSED INLET
- PROPOSED STORM SEWER
- PROPOSED CONTOUR
- 2PS EXISTING PRESSURE SEWER & SIZE
- EXISTING PRESSURE SEWER VALVE
- PROPOSED PRESSURE SEWER & SIZE
- PROPOSED PRESSURE SEWER VALVE
- PROPOSED PRESSURE SEWER CLEANOUT
- CHANGE IN PRES. SEWER PIPE SIZE & CLEANOUT
- EXISTING WATER MAIN & SIZE
- EXISTING WATER VALVE
- PROPOSED WATER MAIN & SIZE
- PROPOSED WATER VALVE
- PROPOSED 1PE WATER LATERAL & CURB STOP
- PROPOSED LIGHT POLE

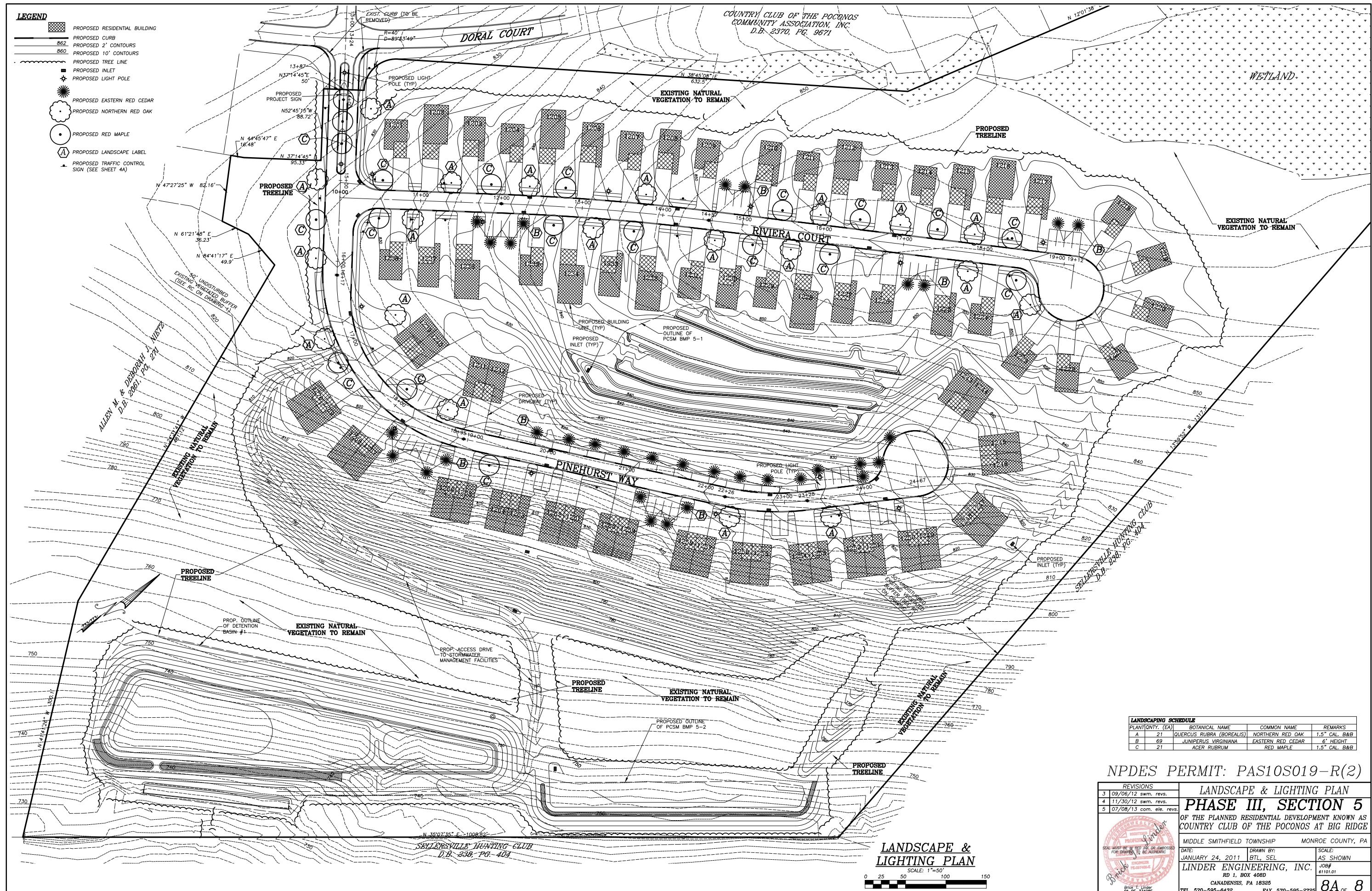
WATER & SEWER PLAN

SCALE: 1"=50'
0 25 50 100 150



NPDES PERMIT: PAS10S019-R(2)	
REVISIONS	WATER & SEWER PLAN
5 09/06/12 swm. revs.	PHASE III, SECTION 5
6 10/04/12 swm. revs.	OF THE PLANNED RESIDENTIAL DEVELOPMENT KNOWN AS
7 07/06/13 com. elec. revs.	COUNTRY CLUB OF THE POCONOS AT BIG RIDGE
MIDDLE SMITHFIELD TOWNSHIP MONROE COUNTY, PA	
DATE: OCTOBER 6, 2011 DRAWN BY: BTL, SEL SCALE: AS SHOWN	
LINDER ENGINEERING, INC. JO# 61101.01	
RD 1, BOX 408D CANADENIS, PA 18325 TEL 570-595-6432 FAX 570-595-2725	





MEL NORTHEY

Home Lamps & Posts Signs Specials/Sales Mail Order Catalog Dark Sky Info About Mel Northey Co.
Replacement Resources Globe Templates Partners Lighting Information

For product specifications, please click links under online catalog below.

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Product Specifications
Click here for a繁體中文
Municipal quality core cast base with light fluted non-tapered 4" tubular shaft

Brand: Stratford Series
Stock Number: 8375 12' Overall Height
Base Diameter: 12"
Height: 12'
Dimensions: 30" Height x 12" Diameter
Luminous Output: 3,575 Lumen
Post Material: 4" dia x .125 wall lighty fluted aluminum post
Globe Material: Standard Clear Lexan Polycarbonate
Lighting: Standard Incandescent
Optional: (HID) HPS- High pressure sodium, or MH-Metal Halide

Installation Instructions
Lights are to be installed onto a cement pad the depth of your local frost line. The base pad should be a cylinderically with a width of not less than the base diameter of the light. 12" x 12" x 18". Shape bolts are necessary for installation (not provided). Obtain at your local hardware store) secure four (4) of these bolts, according to the template provided. Electrical conduit containing the main electrical lead should be run from the base of the light to the cement pad. Connect the base of the light to the cement pad using bolts, and connect the main electrical wire to the leads extending down from the socket assembly (standard) or the ballast/socket assembly (optional). Assembly is now complete

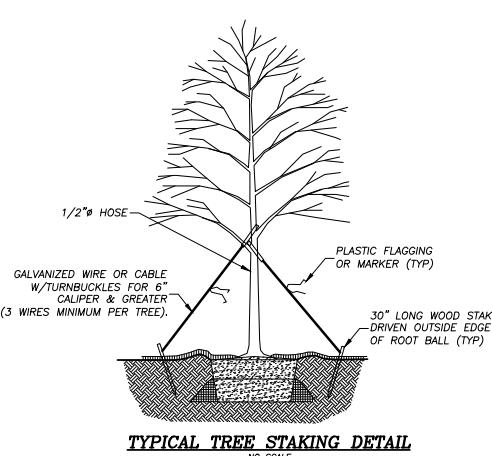
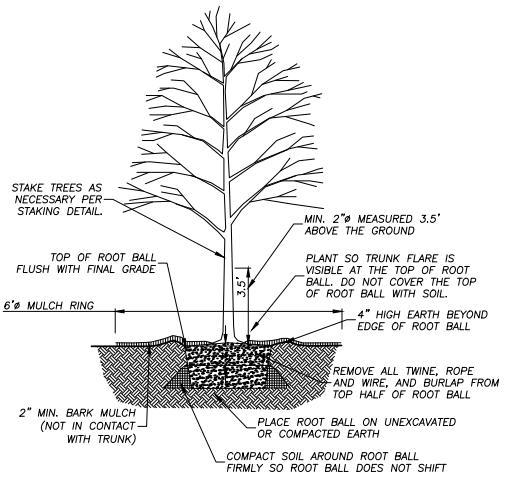
Extended Product Description
AVY DUTY MUNICIPAL QUALITY CORE CAST BASE WITH 4" DEEPLY FLUTED TUBULAR NON TAPERED SHAFT

Affordable ARCHITECTURAL EMBELLISHMENT FOR UPSCALE COMMUNITIES

EISA Compliant

www.melnorthey.com/itemdesc.asp?pgennum=1&ic=228

1/2



NPDES PERMIT: PAS10S019-R(2)

REVISIONS	LANDSCAPE & LIGHTING DETAILS	
PHASE III, SECTION 5		
OF THE PLANNED RESIDENTIAL DEVELOPMENT KNOWN AS COUNTRY CLUB OF THE POCONOS AT BIG RIDGE		
MIDDLE SMITHFIELD TOWNSHIP MONROE COUNTY, PA		
DATE: FEBRUARY 1, 2012 DRAWN BY: BTL, SEL SCALE: AS SHOWN		
LINDER ENGINEERING, INC. 61101.01		
RD 1, BOX 408D CANADENIS, PA 18325 TEL: 570-595-6432 FAX: 570-595-2725		

[Red Seal]

Brk-4-74 Order
PA PE-37408E

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