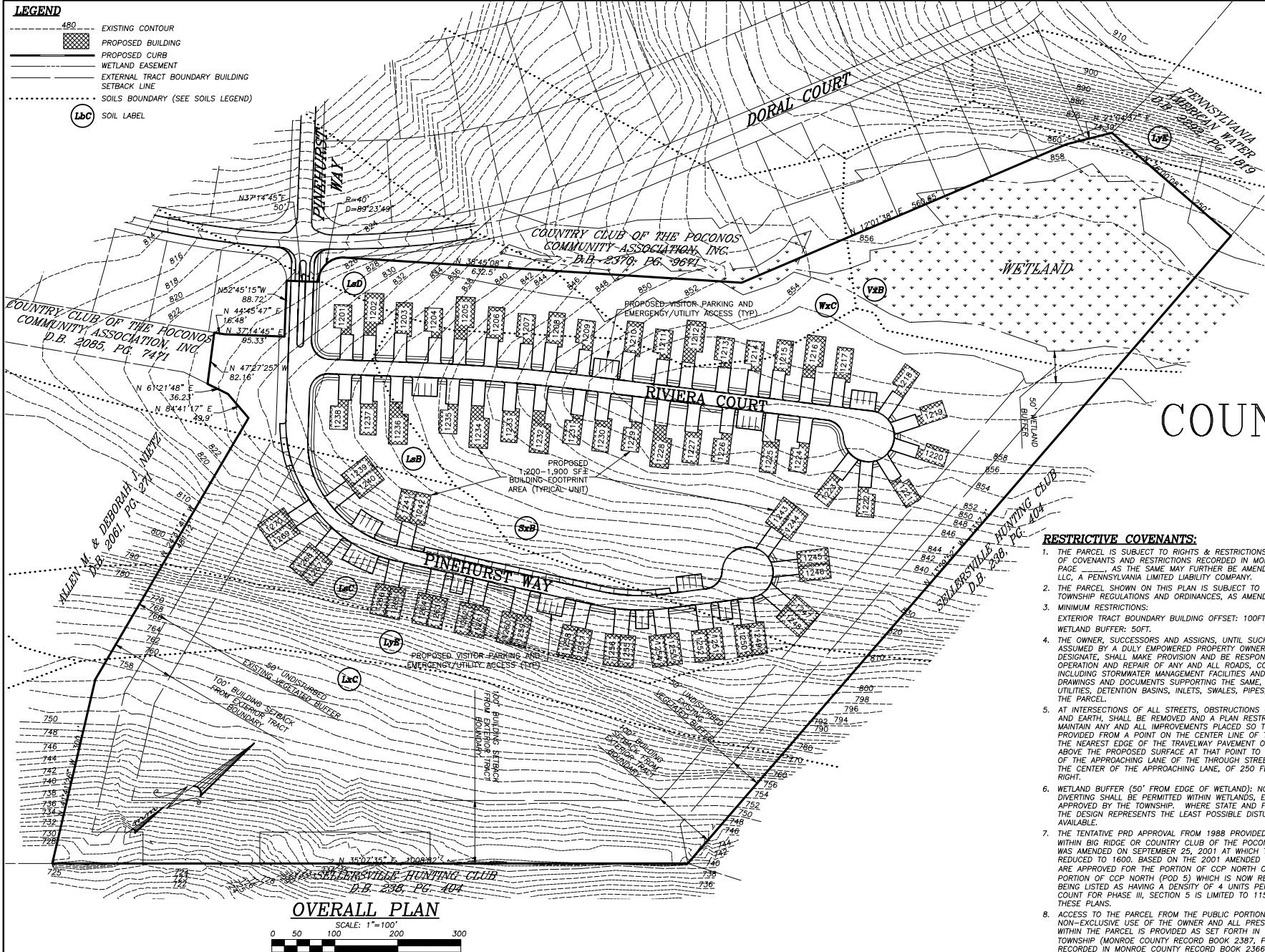


- LEGEND**
- 480 EXISTING CONTOUR
 - PROPOSED BUILDING
 - PROPOSED CURB
 - WETLAND EASEMENT
 - EXTERNAL TRACT BOUNDARY BUILDING SETBACK LINE
 - SOILS BOUNDARY (SEE SOILS LEGEND)
 - SOIL LABEL



DRAWING INDEX:

- SHEET 1 – OVERALL PLAN (PRD, PCSM, E&S & RECORD)
- SHEET 2 – EXISTING FEATURES PLAN (PRD, PCSM & E&S)
- SHEET 3A – PLANNED RESIDENTIAL DEVELOPMENT PLAN (PRD & RECORD)
- SHEET 3B – OPEN SPACE PLAN (PRD)
- SHEET 3C – COMMON ELEMENT PLAN (PRD)
- SHEET 3D – TYPICAL UNIT DETAILS (PRD)
- SHEET 4A – ROAD LAYOUT PLAN (PRD & E&S)
- SHEET 4B – ROAD PROFILES (PRD & E&S)
- SHEET 5A – OVERALL PCSM & GRADING PLAN (PRD, PCSM & E&S)
- SHEET 5B – PCSM & GRADING PLAN (PRD, PCSM & E&S)
- SHEET 5C – PCSM & GRADING PLAN (PRD, PCSM & E&S)
- SHEET 5D – PCSM & GRADING PLAN (PRD, PCSM & E&S)
- SHEET 6 – WATER & SEWER PLAN (PRD & E&S)
- SHEET 7 – E&S PLAN (NOT INCLUDED)
- SHEET 8A – LANDSCAPE & LIGHTING PLAN (PRD)
- SHEET 8B – LANDSCAPE & LIGHTING DETAILS (PRD)

OWNER/DEVELOPER:

DANSAM, LLC, SUCCESSOR TO
MONROE-PIKE LAND, LLC,
1125 FILLMORE STREET, EAST
STROUDSBURG, PA 18301.
(570)424-6870

ENGINEER:

LINDER ENGINEERING, INC
2603 RT 390
CANADENSIS, PA 18325
(570)595-6432



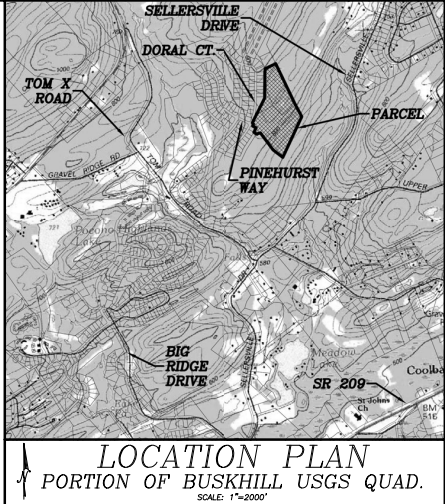
CONTRACTORS SHALL BE REQUIRED TO
VERIFY THE LOCATIONS, TYPE, SIZE,
DEPTH OR HORIZONTAL LOCATION OF ALL
ABOVE-GROUND AND UNDERGROUND
UTILITIES AND STRUCTURES PURSUANT PA
LEGISLATIVE ACT NUMBER 38. THE "ONE
CALL" NUMBER SHALL BE CALLED AT
LEAST 3 DAYS PRIOR TO THE START OF
CONSTRUCTION.
SERIAL NUMBER: 20122792059

PHASE III, SECTION 5

OF THE PLANNED RESIDENTIAL
DEVELOPMENT KNOWN AS

COUNTRY CLUB OF THE POCONOS

MIDDLE SMITHFIELD TOWNSHIP
MONROE COUNTY, PA



RESTRICTIVE COVENANTS:

- THE PARCEL IS SUBJECT TO RIGHTS & RESTRICTIONS OF RECORD AS LISTED IN DECLARATION OF COVENANTS AND RESTRICTIONS RECORDED IN MONROE COUNTY RECORD BOOK _____ AT PAGE _____ AS THE SAME MAY FURTHER BE AMENDED HEREFTER. THE OWNER IS DANSAM, LLC, A PENNSYLVANIA LIMITED LIABILITY COMPANY.
- THE PARCEL SHOWN ON THIS PLAN IS SUBJECT TO THE APPLICABLE MIDDLE SMITHFIELD TOWNSHIP REGULATIONS AND ORDINANCES, AS AMENDED.
- MINIMUM RESTRICTIONS:
EXTERIOR TRACT BOUNDARY BUILDING OFFSET: 100FT.
WETLAND BUFFER: 50FT.
- THE OWNER, SUCCESSORS AND ASSIGNS, UNTIL SUCH TIME AS SUCH RESPONSIBILITY IS ASSUMED BY A DULY EMPOWERED PROPERTY OWNERS ASSOCIATION WHICH OWNER SHALL DESIGNATE, SHALL MAKE PROVISION AND BE RESPONSIBLE FOR THE ONGOING MAINTENANCE, OPERATION AND REPAIR OF ANY AND ALL ROADS, COMMON FACILITIES AND EASEMENTS, INCLUDING STORMWATER MANAGEMENT FACILITIES AND CONTROLS, AS DEPICTED ON THESE DRAWINGS AND DOCUMENTS SUPPORTING THE SAME, INCLUDING, BUT NOT LIMITED TO, ALL UTILITIES, DETENTION BASINS, INLETS, SWALES, PIPES, BERMS, ETC. WHICH ARE LOCATED ON THE PARCEL.
- AT INTERSECTIONS OF ALL STREETS, OBSTRUCTIONS OF ANY TYPE, INCLUDING VEGETATION AND EARTH, SHALL BE REMOVED AND A PLAN RESTRICTIVE COVENANT ESTABLISHED TO MAINTAIN ANY AND ALL IMPROVEMENTS PLACED SO THAT CLEAR AND UNOBSTRUCTED SIGHT IS PROVIDED FROM A POINT ON THE CENTER LINE OF THE INTERSECTING STREET 10 FEET FROM THE NEAREST EDGE OF THE TRAVELWAY PAVEMENT OF THE THROUGH STREET AND 3.5 FEET ABOVE THE PROPOSED SURFACE AT THAT POINT TO A POINT 4.5 FEET ABOVE THE CENTER OF THE APPROACHING LANE OF THE THROUGH STREET AT A DISTANCE, AS MEASURED ALONG THE CENTER OF THE APPROACHING LANE, OF 250 FEET TO THE LEFT AND 200 FEET TO THE RIGHT.
- WETLAND BUFFER (50' FROM EDGE OF WETLAND): NO DEVELOPMENT, FILLING, PIPING OR DIVERTING SHALL BE PERMITTED WITHIN WETLANDS, EXCEPT FOR ROAD OR UTILITY CROSSINGS APPROVED BY THE TOWNSHIP. WHERE STATE AND FEDERAL PERMITS HAVE BEEN OBTAINED, THE DESIGN REPRESENTS THE LEAST POSSIBLE DISTURBANCE AND NO OTHER ACCESS IS AVAILABLE.
- THE TENTATIVE PRD APPROVAL FROM 1988 PROVIDED FOR A MAXIMUM OF 2,950 UNITS WITHIN BIG RIDGE OR COUNTRY CLUB OF THE POCONOS (CCP). THIS TENTATIVE APPROVAL WAS AMENDED ON SEPTEMBER 22, 2001 AT WHICH TIME THE TOTAL NUMBER OF UNITS WAS REDUCED TO 1600. BASED ON THE 2001 AMENDED TENTATIVE PLAN, A TOTAL OF 928 UNITS ARE APPROVED FOR THE PORTION OF CCP NORTH OF TOM X ROAD (CCP NORTH) THE PORTION OF CCP NORTH (POD 5) WHICH IS NOW REFERRED TO AS PHASE III, SECTION 5 - BEING LISTED AS HAVING A DENSITY OF 4 UNITS PER ACRE. THEREFORE, THE FINAL UNIT COUNT FOR PHASE III, SECTION 5 IS LIMITED TO 115 UNITS AND 70 ARE CONTAINED ON THESE PLANS.
- ACCESS TO THE PARCEL FROM THE PUBLIC PORTION OF BIG RIDGE DRIVE FOR THE NON-EXCLUSIVE USE OF THE OWNER AND ALL PRESENT AND FUTURE OWNERS OF PROPERTY WITHIN THE PARCEL IS PROVIDED AS SET FORTH IN THE DEED FROM MIDDLE SMITHFIELD TOWNSHIP (MONROE COUNTY RECORD BOOK 2387, PAGE 9480) AND THAT CERTAIN EASEMENT RECORDED IN MONROE COUNTY RECORD BOOK 2366, PAGE 7115.
- ALL LANDS IDENTIFIED AS "OPEN SPACE" AREA AND ALL COMMON AREA ARE INTENDED TO, AND SHALL BE, CONVEYED TO A DULY EMPOWERED PROPERTY OWNERS ASSOCIATION WHICH OWNER SHALL DESIGNATE. ALL LANDS DESIGNATED AS "OPEN SPACE" SHALL BE LIMITED IN USE IN ACCORDANCE WITH THE DECISION OF THE BOARD OF SUPERVISORS OF MIDDLE SMITHFIELD TOWNSHIP DATED JUNE 9, 1988, GRANTING PLANNED RESIDENTIAL DEVELOPMENT TENTATIVE APPROVAL, AS AMENDED.
- THE 50' UNDISTURBED VEGETATED BUFFER SHALL BE PRESERVED AND REMAIN UNDISTURBED TO MAINTAIN AN UNDISTURBED VEGETATED BUFFER ALONG THE TRACT PERIMETER TO THE EXTENT SHOWN ON THE LAND DEVELOPMENT PLANS.
- THE FINAL DESIGN AND USE OF THE PROPOSED RECREATION AREAS SHALL BE THE RESPONSIBILITY OF THE MEMBERS OF THE DULY EMPOWERED PROPERTY OWNERS ASSOCIATION.
- THE OWNER, SUCCESSORS AND ASSIGNS GRANT THE RIGHT OF INGRESS, EGRESS AND REGRESS TO MIDDLE SMITHFIELD TOWNSHIP AS NECESSARY FOR PERIODIC INSPECTIONS OF THE STORM PIPES, INLETS, MANHOLES, DETENTION BASIN 1, PCSM BASIN 5-1, PCSM BASIN 5-2 AND RELATED OUTLET STRUCTURES AS SHOWN ON DRAWINGS 5A - 5D IN ACCORDANCE WITH THE SWM ORDINANCE.
- IF THE OWNER, SUCCESSORS AND ASSIGNS, INCLUDING BUT NOT LIMITED TO DULY EMPOWERED PROPERTY OWNERS ASSOCIATION, DEFAULT ON MAINTAINING THE STORM PIPES, INLETS, MANHOLES, DETENTION BASIN 1, PCSM BASIN 5-1, PCSM BASIN 5-2 AND RELATED OUTLET STRUCTURES AS SHOWN ON DRAWINGS 5A - 5D, THEN MIDDLE SMITHFIELD TOWNSHIP IS HEREBY GRANTED THE RIGHT OF INGRESS, EGRESS AND REGRESS TO AS NECESSARY TO ACCESS AND MAINTAIN THESE STORMWATER IMPROVEMENTS.

GENERAL NOTES:

- OWNER & APPLICANT: DANSAM, LLC, SUCCESSOR TO MONROE-PIKE LAND, LLC, 1125 FILLMORE STREET, EAST STROUDSBURG, PA 18301.
- DEED REFERENCE: RV 2399, PAGE 6267 (DEED FROM MONROE-PIKE LAND, LLC TO DANSAM, LLC) AND RV 2387, PG. 9480 (TOWNSHIP OF MIDDLE SMITHFIELD TO MONROE-PIKE LAND, LLC), THE PARCEL IS SUBJECT TO ANY APPLICABLE RESTRICTIONS OF RECORD.
- PARCEL TAX INFORMATION - TAX ID: 09/10/1/83, PIN: WAT-7334-02-33-1006, BEING THE JONDURE OF TAX ID: 09/10/1/83, TAX ID: 09/10/1/66 AND 09/10/1/85-1.
- THE GROSS AREA IS 28.87 AC.
- ZONING DISTRICT: PRD.
- THE BASE INFORMATION SHOWN HEREON WAS PROVIDED BY FRANK J. SMITH JR. INC., REGISTERED SURVEYORS, MARSHALLS CREEK, PA.
- ALL TOPOGRAPHY SHOWN HEREON IS BASED ON NGVD 29 DATUM AND WAS PREPARED FROM AERIAL PHOTOGRAPHY.
- ALL SOILS SHOWN HEREON WERE SUPERIMPOSED FROM THE SOIL SURVEY OF MONROE COUNTY.
- ALL WETLAND SHOWN HEREON WAS DELINEATED BY FX BROWNE, INC AND LOCATED BY FIELD SURVEY. A JURISDICTIONAL DETERMINATION WAS ISSUED BY THE USACE, AND THE WETLAND LINES SHOWN HEREON, IS SUBJECT TO CHANGE BASED ON CONFIRMATION WITH THE JD.
- THE PARCEL FALLS WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 500-YR. FLOOD PLAIN) PER FIRM PANEL 42189000258.
- THE INTENT OF THIS DRAWING IS TO SHOW THE PLANNED RESIDENTIAL DEVELOPMENT OF THE PHASE III, SECTION 5 OF THE PLANNED RESIDENTIAL DEVELOPMENT KNOWN AS COUNTRY CLUB OF THE POCONOS.
- WATER SERVICE WILL BE FROM THE PENNSYLVANIA AMERICAN WATER COMPANY AND SEWER SERVICE WILL BE FROM MIDDLE SMITHFIELD TOWNSHIP.
- MINIMUM REQUIREMENTS:
ROAD LANE WIDTH: 11FT.
GRASS BUFFER: 5FT.
CONCRETE SIDEWALK: 4FT.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE SECTIONS OF THE MIDDLE SMITHFIELD TOWNSHIP ORDINANCES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING AND CONTACT AND COORDINATE ALL WORK WITH MIDDLE SMITHFIELD TOWNSHIP, MONROE COUNTY CONSERVATION DISTRICT, PENNSYLVANIA AMERICAN WATER AND ALL OTHER APPLICABLE UTILITY COMPANIES SO THAT ALL CONSTRUCTION IS WITNESSED AND COORDINATED WITH APPLICABLE AGENCIES.
- ALL DRIVE, ROADWAY AND DRAINAGE MATERIALS AND CONSTRUCTION SHALL CONFORM WITH PENN DOT FORM 408 SPECIFICATIONS.
- ANY TOPSOIL AND ORGANIC MATERIAL MUST BE REMOVED FROM THE PROPOSED STREET, BUILDING, PARKING AND DRIVE AREAS AND STOCKPILED FOR USE FOR FINAL GRADING AND SEEDING. ANY EXCESS MATERIAL SHALL BE REMOVED AND/OR RE-GRADED ON-SITE AND PROPERLY DISPOSED.
- ANY NEEDED OR EXCESS MATERIAL REQUIRED TO ACHIEVE THE PROPER ELEVATIONS FOR THE BUILDING, PARKING AREA AND SITE WORK SHALL BE IMPORTED OR REMOVED FROM THE SITE. ANY MATERIAL IMPORTED SHALL BE SUITABLE, WELL-DRAINED, FREE OF LARGE STONES AND BE ADEQUATELY COMPACTED. ANY MATERIAL HAULED OFF-SITE SHALL BE PROPERLY DISPOSED.
- PRIOR TO CONSTRUCTION, UTILITIES SHALL BE CONTACTED TO DETERMINE INTERFERENCES. THE "ONE CALL" NUMBER (800-242-1776) SHALL BE CALLED AT LEAST 3 DAYS PRIOR TO THE START OF CONSTRUCTION. REFER TO THE "UTILITY REFERENCES" TABLE FOR UTILITIES PREVIOUSLY IDENTIFIED IN THE AREA.
- ALL PROPOSED ELECTRIC AND COMMUNICATION UTILITIES SHALL BE DESIGNED, LOCATED AND CONSTRUCTED BY THE UTILITY HAVING JURISDICTION. ALL APPLICABLE CODES AND REGULATIONS SHALL BE FOLLOWED.
- ALL TRAFFIC SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH PENN DOT TC (PUBLICATION 111M) SERIES STANDARDS.
- ALL DRAINAGE PIPING SHALL BE SMOOTHED BORE HDPE PIPING (ADS N-12, HANCOCK SURELOK) OR EQUAL. ALL INLETS SHALL BE PENN DOT STANDARD PRE-CAST CONCRETE BOXES WITH STANDARD TYPE "C" OR "M" INLET TOPS AND STEEL BICYCLE-PROOF GRATES AS APPROPRIATE.
- ANY DISTURBED, NON-LANDSCAPED AREAS SHALL BE SEEDDED AND MULCHED ACCORDING TO THE APPROPRIATE PERMANENT SEEDING SPECIFICATION.

AFFIDAVIT OF PLAN SUBMISSION:

This Land Development OR Preliminary Subdivision Plan was submitted by me to the MONROE COUNTY PLANNING COMMISSION for review on 12/13/11.

Brick T. Linder

Brick T. Linder, PE 37408E

CERTIFICATION OF ACCURACY, COMPLETENESS AND RESPONSIBILITY:

I hereby certify that to the best of my knowledge, the plan shown and described hereon, as well as all related drawings and documents submitted herewith, are true and correct to the accuracy required by MIDDLE SMITHFIELD TOWNSHIP in regard to the tentative plan approval for the project and were prepared by me or under my direct supervision and for which I accept full and complete responsibility.

Brick T. Linder, PE 37408E,
Linder Engineering, Inc., 2603 Route 390, Canadensis, PA 18325

Brick T. Linder

CERTIFICATION OF OWNERSHIP AND ACKNOWLEDGMENT OF PLAN:

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF MONROE

On this _____ DAY OF _____, 20____, before me, the undersigned officer, personally appeared _____, who being duly sworn, according to law, doth depose and say that they are an authorized officer of the applicant, DANSAM, LLC, who is the owner of the property shown and depicted on this plan, that this Planned Residential Development Plan was made at their direction, that DANSAM, LLC acknowledges the same to be recorded according to law.

NOTARY PUBLIC

MIDDLE SMITHFIELD TOWNSHIP BOARD OF SUPERVISORS CERTIFICATE OF REVIEW AND APPROVAL:

At a public meeting held on _____, 20____, the BOARD OF SUPERVISORS OF MIDDLE SMITHFIELD TOWNSHIP reviewed and by a motion, duly carried, does hereby approve, endorse and seal the said Planned Residential Development plan for PHASE III, SECTION 5 OF THE PLANNED RESIDENTIAL DEVELOPMENT KNOWN AS COUNTRY CLUB OF THE POCONOS, as shown hereon.

Chairman

Supervisor

Supervisor

MIDDLE SMITHFIELD TOWNSHIP PLANNING COMMISSION CERTIFICATE OF REVIEW AND APPROVAL:

At a public meeting held on _____, 20____, the PLANNING COMMISSION OF MIDDLE SMITHFIELD TOWNSHIP reviewed and by a motion, duly carried, does hereby recommend approval of the said Planned Residential Development plan for PHASE III, SECTION 5 OF THE PLANNED RESIDENTIAL DEVELOPMENT KNOWN AS COUNTRY CLUB OF THE POCONOS, as shown hereon.

Chairman

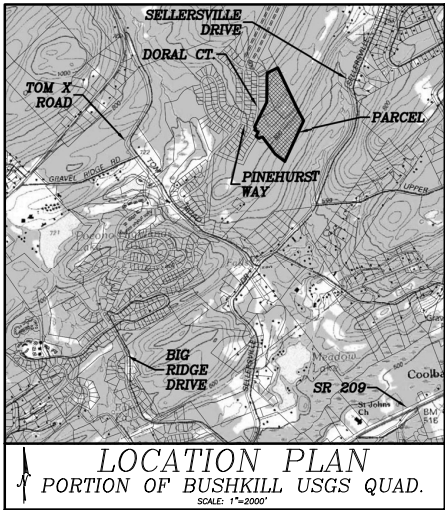
Secretary

LIST OF REQUESTS FOR MODIFICATION FOR THE PROJECT:

MODIFICATION	SALDO OR PRD SECTION
#15 PARKING CONFIGURATION	1988 PRD SECTIONS 7.906G AND 7.906H
#20 SLOPE DISTURBANCE	SALDO SECTION 170-41C
#23 CUL-DE-SAC NUMBER OF UNITS	SALDO SECTION 170-45D.2.a.2
#33 ROADWAY BASE COURSE DEPTH	SALDO SECTION 170-78 (TABLE 4-8)
#34 CARTWAY WIDTH	SALDO SECTION 170-78 (TABLE 3-1)

NPDES PERMIT: PAS10S019-R(2)

OVERALL PLAN	
PHASE III, SECTION 5	
OF THE PLANNED RESIDENTIAL DEVELOPMENT KNOWN AS THE COUNTRY CLUB OF THE POCONOS AT BIG RIDGE	
MIDDLE SMITHFIELD TOWNSHIP MONROE COUNTY, PA	
DATE: OCTOBER 6, 2011	DRAWN BY: BTL, SEL
LINDER ENGINEERING, INC.	
RD 1, BOX 4080	
CANADENSIS, PA 18325	
TEL. 570-595-6432	FAX 570-595-2725
1 OF 8	



- LEGEND**
- 480 --- EXISTING CONTOUR
 - WETLAND BUFFER
 - EXTERNAL TRACT BOUNDARY
 - BUILDING SETBACK LINE
 - SOILS BOUNDARY (SEE SOILS LEGEND)
 - (LbC) SOIL LABEL
 - SET CONCRETE MONUMENT
 - PROPOSED CONCRETE MONUMENT
 - MODERATELY STEEP SLOPES, 15%-25%
 - STEEP SLOPES, 25%+
 - 50' WETLAND RIPARIAN BUFFER
 - TP 5D APPROXIMATE LOCATION STORMWATER TEST PIT BY RKR HESS ASSOCIATES
 - IT 5D APPROXIMATE LOCATION STORMWATER INFILTRATION TEST BY RKR HESS ASSOCIATES

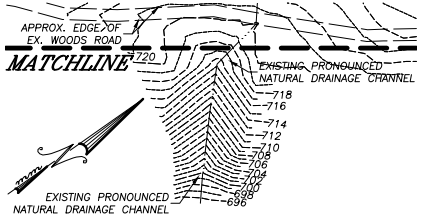
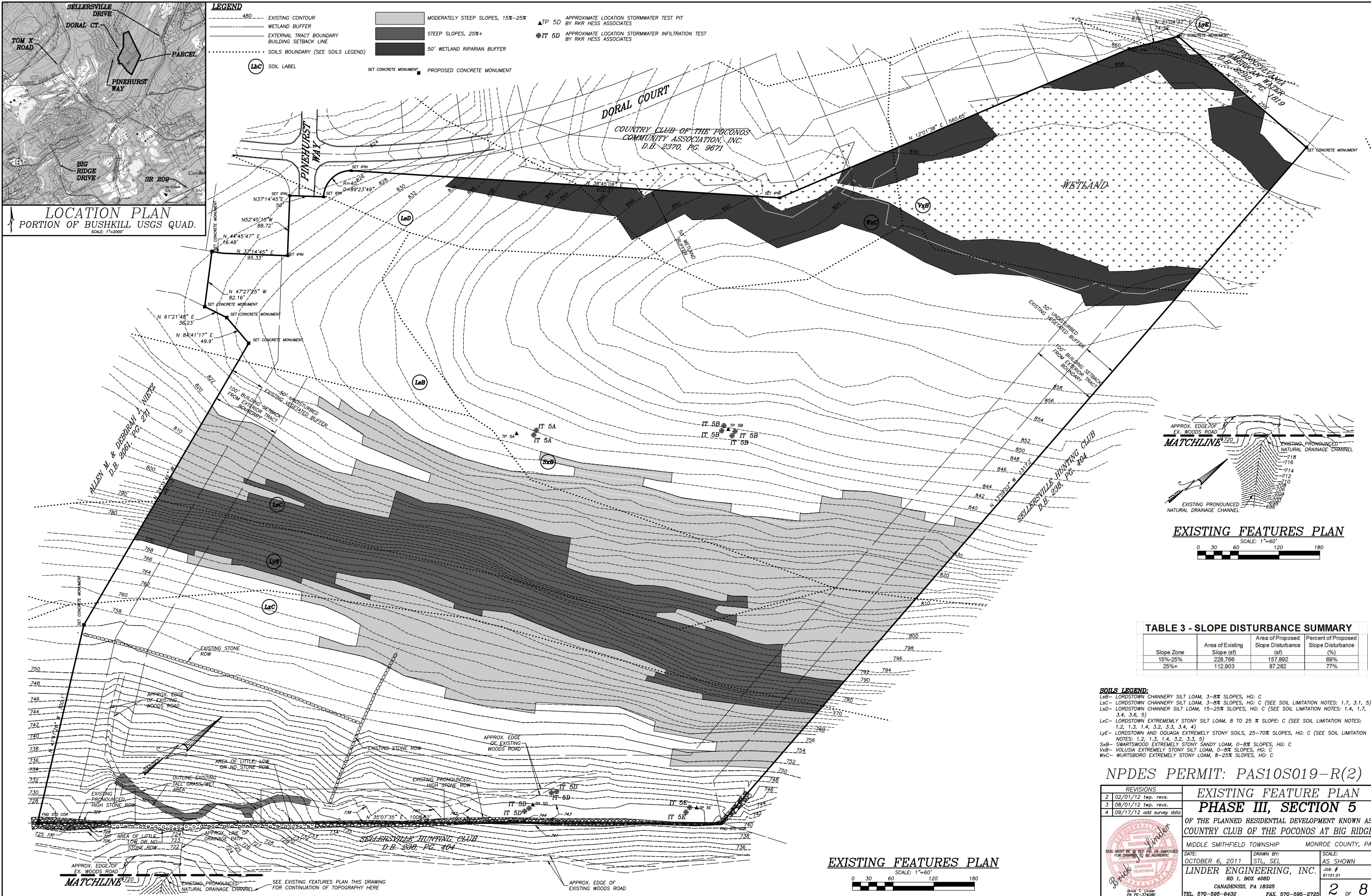


TABLE 3 - SLOPE DISTURBANCE SUMMARY

Slope Zone	Area of Existing Slope (sf)	Area of Proposed Slope Disturbance (sf)	Percent of Proposed Slope Disturbance (%)
15%-25%	228,766	157,892	69%
25%+	112,903	87,282	77%

SOILS LEGEND:

LbB- LORDSTOWN CHANNERY SILT LOAM, 3-8% SLOPES, HG: C
LbC- LORDSTOWN CHANNERY SILT LOAM, 3-8% SLOPES, HG: C (SEE SOIL LIMITATION NOTES: 1.7, 3.1, 5)
LbD- LORDSTOWN CHANNERY SILT LOAM, 15-25% SLOPES, HG: C (SEE SOIL LIMITATION NOTES: 1.4, 1.7, 3.4, 3.6, 5)
LxC- LORDSTOWN EXTREMELY STONY SILT LOAM, 8 TO 25 % SLOPE: C (SEE SOIL LIMITATION NOTES: 1.2, 1.3, 1.4, 3.2, 3.3, 3.4, 4)
LyE- LORDSTOWN AND OQUAGA EXTREMELY STONY SOILS, 25-70% SLOPES, HG: C (SEE SOIL LIMITATION NOTES: 1.2, 1.3, 1.4, 3.2, 3.3, 3.4, 5)
SwB- SWARTSWOOD EXTREMELY STONY SANDY LOAM, 0-8% SLOPES, HG: C
VwB- VOLUSIA EXTREMELY STONY SILT LOAM, 0-8% SLOPES, HG: C
WwC- WURTSBORO EXTREMELY STONY LOAM, 8-25% SLOPES, HG: C

NPDES PERMIT: PAS10S019-R(2)

EXISTING FEATURE PLAN
PHASE III, SECTION 5
OF THE PLANNED RESIDENTIAL DEVELOPMENT KNOWN AS
COUNTRY CLUB OF THE POCONOS AT BIG RIDGE

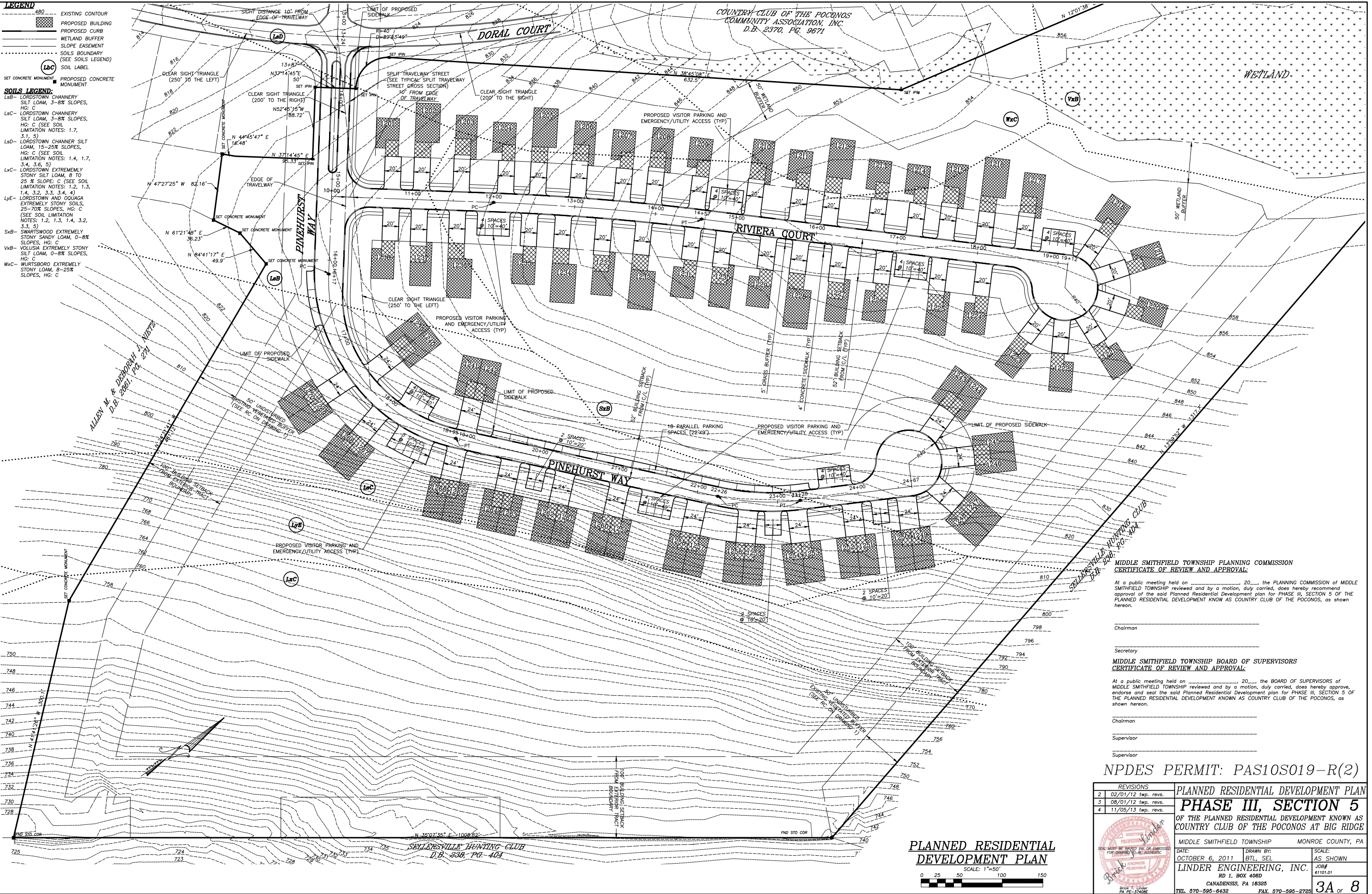
MIDDLE SMITHFIELD TOWNSHIP MONROE COUNTY, PA

DATE: OCTOBER 6, 2011	DRAWN BY: STL, SEL	SCALE: AS SHOWN
LINDER ENGINEERING, INC. RD 1, BOX 408D CANADENSIS, PA 18325		Job # 61101.01
TEL: 570-595-6432	FAX: 570-595-2725	2 OF 8

Brick T. Linder
PA PC-374086

- LEGEND**
- EXISTING CONTOUR
 - PROPOSED BUILDING
 - PROPOSED CURB
 - WETLAND BUFFER
 - SLOPE EASEMENT
 - SOILS BOUNDARY (SEE SOILS LEGEND)
 - SOIL LABEL
 - SET CONCRETE MONUMENT
 - PROPOSED CONCRETE MONUMENT

- SOILS LEGEND:**
- LsB- LORDSTOWN CHANNERY SILT LOAM, 3-8% SLOPES, HG: C (SEE SOIL LIMITATION NOTES: 1.7, 3.1, 5)
 - LsC- LORDSTOWN CHANNERY SILT LOAM, 8-25% SLOPES, HG: C (SEE SOIL LIMITATION NOTES: 1.4, 1.7, 3.4, 3.6, 5)
 - LsD- LORDSTOWN CHANNERY SILT LOAM, 15-25% SLOPES, HG: C (SEE SOIL LIMITATION NOTES: 1.4, 1.7, 3.4, 3.6, 5)
 - LxC- LORDSTOWN EXTREMELY STONY SILT LOAM, 8 TO 25 % SLOPE, C (SEE SOIL LIMITATION NOTES: 1.2, 1.3, 1.4, 3.2, 3.3, 3.4, 4)
 - LyE- LORDSTOWN AND OQUAGA EXTREMELY STONY SOILS, 25-70% SLOPES, HG: C (SEE SOIL LIMITATION NOTES: 1.2, 1.3, 1.4, 3.2, 3.3, 5)
 - SxS- SWARTSWOOD EXTREMELY STONY SANDY LOAM, 0-8% SLOPES, HG: C
 - VxB- VOLUSIA EXTREMELY STONY SILT LOAM, 0-8% SLOPES, HG: C
 - WxC- WURTSBORO EXTREMELY STONY LOAM, 8-25% SLOPES, HG: C



**MIDDLE SMITHFIELD TOWNSHIP PLANNING COMMISSION
CERTIFICATE OF REVIEW AND APPROVAL**

At a public meeting held on _____, 20____, the PLANNING COMMISSION of MIDDLE SMITHFIELD TOWNSHIP reviewed and by a motion, duly carried, does hereby recommend approval of the said Planned Residential Development plan for PHASE III, SECTION 5 OF THE PLANNED RESIDENTIAL DEVELOPMENT KNOWN AS COUNTRY CLUB OF THE POCONOS, as shown hereon.

Chairman _____

Secretary _____

**MIDDLE SMITHFIELD TOWNSHIP BOARD OF SUPERVISORS
CERTIFICATE OF REVIEW AND APPROVAL**

At a public meeting held on _____, 20____, the BOARD OF SUPERVISORS of MIDDLE SMITHFIELD TOWNSHIP reviewed and by a motion, duly carried, does hereby approve, endorse and seal the said Planned Residential Development plan for PHASE III, SECTION 5 OF THE PLANNED RESIDENTIAL DEVELOPMENT KNOWN AS COUNTRY CLUB OF THE POCONOS, as shown hereon.

Chairman _____

Supervisor _____

Supervisor _____








NPDES PERMIT: PAS10S019-R(2)

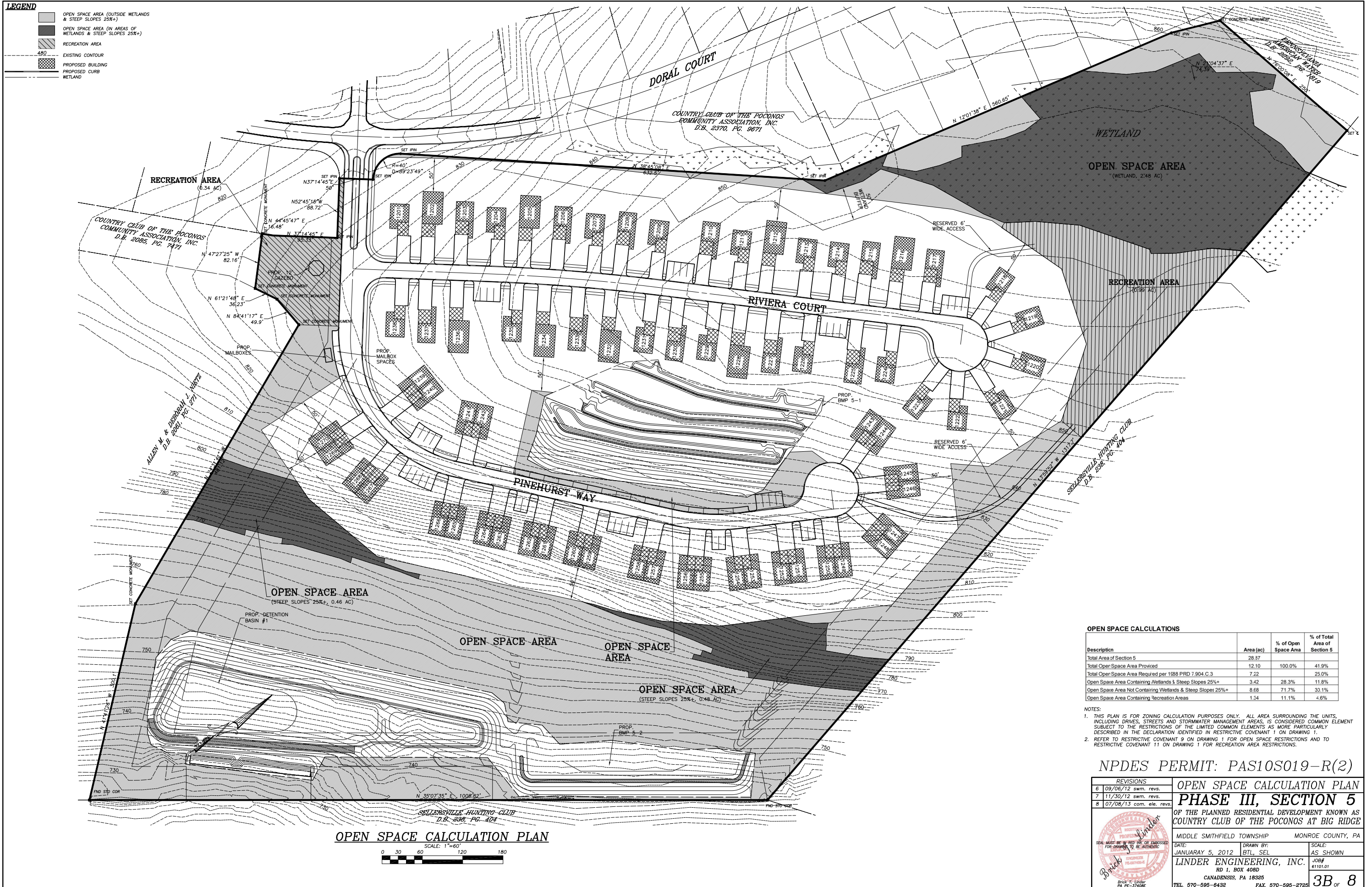
REVISIONS		PLANNED RESIDENTIAL DEVELOPMENT PLAN	
2	02/01/12 twp. revs.	PHASE III, SECTION 5	
3	08/01/12 twp. revs.	OF THE PLANNED RESIDENTIAL DEVELOPMENT KNOWN AS	
4	11/05/13 twp. revs.	COUNTRY CLUB OF THE POCONOS AT BIG RIDGE	
MIDDLE SMITHFIELD TOWNSHIP		MONROE COUNTY, PA	
DATE: OCTOBER 6, 2011		DRAWN BY: BTL, SEL	
LINDER ENGINEERING, INC.		SCALE: AS SHOWN	
RD 1, BOX 4080		JOB# 81101.01	
CANADENSIS, PA 18325		3A OF 8	
TEL. 570-595-6432		FAX. 570-595-2725	

**PLANNED RESIDENTIAL
DEVELOPMENT PLAN**

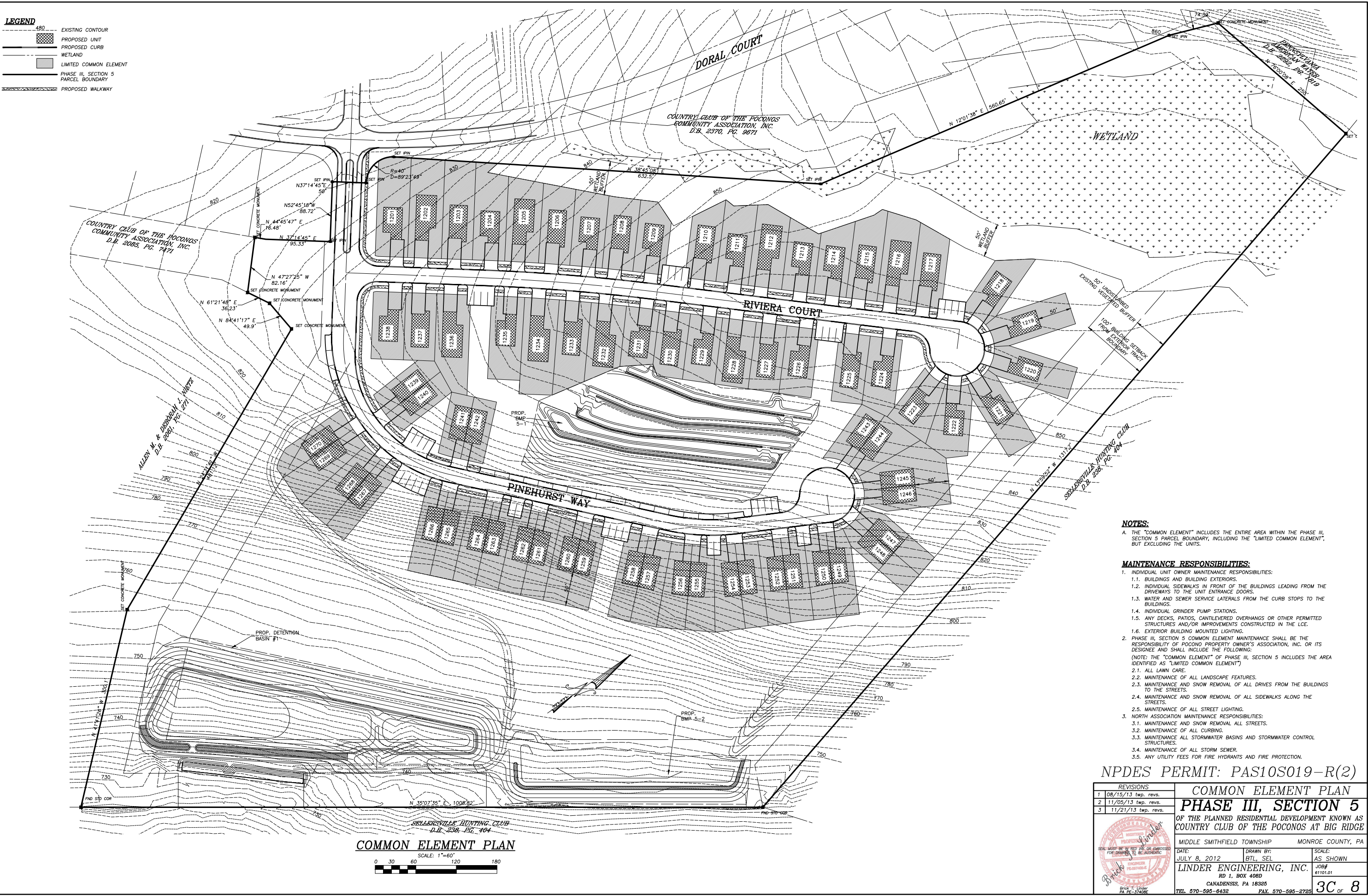
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0 25 50 100 150

LEGEND

-  OPEN SPACE AREA (OUTSIDE WETLANDS & STEEP SLOPES 25%+)
-  OPEN SPACE AREA (IN AREAS OF WETLANDS & STEEP SLOPES 25%+)
-  RECREATION AREA
-  EXISTING CONTOUR
-  PROPOSED BUILDING
-  PROPOSED CURB
-  WETLAND



- LEGEND**
- 480 EXISTING CONTOUR
 - PROPOSED UNIT
 - PROPOSED CURB
 - WETLAND
 - LIMITED COMMON ELEMENT
 - PHASE III, SECTION 5 PARCEL BOUNDARY
 - PROPOSED WALKWAY



NOTES:

A. THE "COMMON ELEMENT" INCLUDES THE ENTIRE AREA WITHIN THE PHASE III, SECTION 5 PARCEL BOUNDARY, INCLUDING THE "LIMITED COMMON ELEMENT", BUT EXCLUDING THE UNITS.

- MAINTENANCE RESPONSIBILITIES:**
- INDIVIDUAL UNIT OWNER MAINTENANCE RESPONSIBILITIES:
 - BUILDINGS AND BUILDING EXTERIORS.
 - INDIVIDUAL SIDEWALKS IN FRONT OF THE BUILDINGS LEADING FROM THE DRIVEWAYS TO THE UNIT ENTRANCE DOORS.
 - WATER AND SEWER SERVICE LATERALS FROM THE CURB STOPS TO THE BUILDINGS.
 - INDIVIDUAL GRINDER PUMP STATIONS.
 - ANY DECKS, PATIOS, CANTILEVERED OVERHANGS OR OTHER PERMITTED STRUCTURES AND/OR IMPROVEMENTS CONSTRUCTED IN THE LCE.
 - EXTERIOR BUILDING MOUNTED LIGHTING.
 - PHASE III, SECTION 5 COMMON ELEMENT MAINTENANCE SHALL BE THE RESPONSIBILITY OF POCONO PROPERTY OWNER'S ASSOCIATION, INC. OR ITS DESIGNEE AND SHALL INCLUDE THE FOLLOWING:

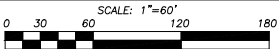
(NOTE: THE "COMMON ELEMENT" OF PHASE III, SECTION 5 INCLUDES THE AREA IDENTIFIED AS "LIMITED COMMON ELEMENT")

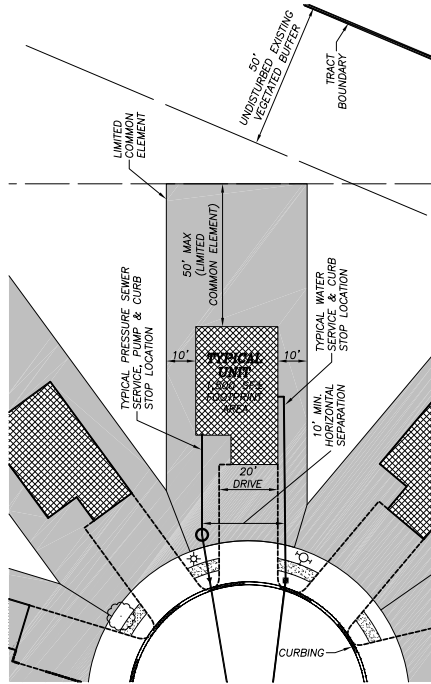
 - ALL LAWN CARE.
 - MAINTENANCE OF ALL LANDSCAPE FEATURES.
 - MAINTENANCE AND SNOW REMOVAL OF ALL DRIVES FROM THE BUILDINGS TO THE STREETS.
 - MAINTENANCE AND SNOW REMOVAL OF ALL SIDEWALKS ALONG THE STREETS.
 - MAINTENANCE OF ALL STREET LIGHTING.
 - NORTH ASSOCIATION MAINTENANCE RESPONSIBILITIES:
 - MAINTENANCE AND SNOW REMOVAL ALL STREETS.
 - MAINTENANCE OF ALL CURBING.
 - MAINTENANCE ALL STORMWATER BASINS AND STORMWATER CONTROL STRUCTURES.
 - MAINTENANCE OF ALL STORM SEWER.
 - ANY UTILITY FEES FOR FIRE HYDRANTS AND FIRE PROTECTION.

NPDES PERMIT: PAS10S019-R(2)

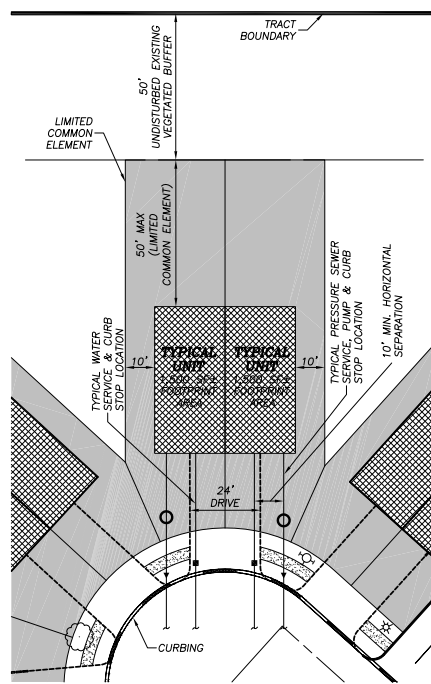
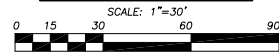
REVISIONS		COMMON ELEMENT PLAN	
1	08/15/13 twp. revs.	PHASE III, SECTION 5	
2	11/05/13 twp. revs.	OF THE PLANNED RESIDENTIAL DEVELOPMENT KNOWN AS	
3	11/21/13 twp. revs.	COUNTRY CLUB OF THE POCONOS AT BIG RIDGE	
		MIDDLE SMITHFIELD TOWNSHIP	MONROE COUNTY, PA
		DATE: JULY 8, 2012	DRAWN BY: BTL, SEL
		LINDER ENGINEERING, INC.	SCALE: AS SHOWN
		RD 1, BOX 4080	JOB# 6101.01
		CANADENSIS, PA 18325	3C OF 8
		TEL 570-595-6432	FAX 570-595-2725

COMMON ELEMENT PLAN

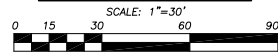




**TYPICAL SINGLE UNIT
LIMITED COMMON
ELEMENT PLAN**

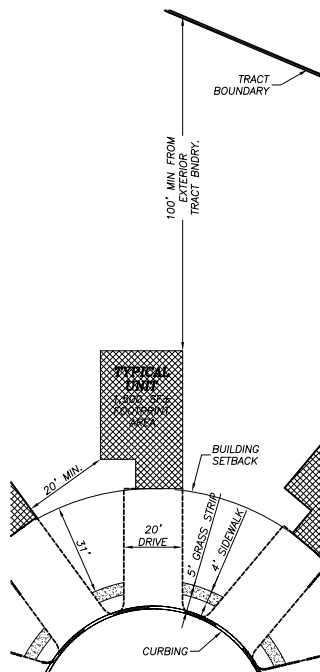


**TYPICAL DUPLEX UNIT
LIMITED COMMON
ELEMENT PLAN**

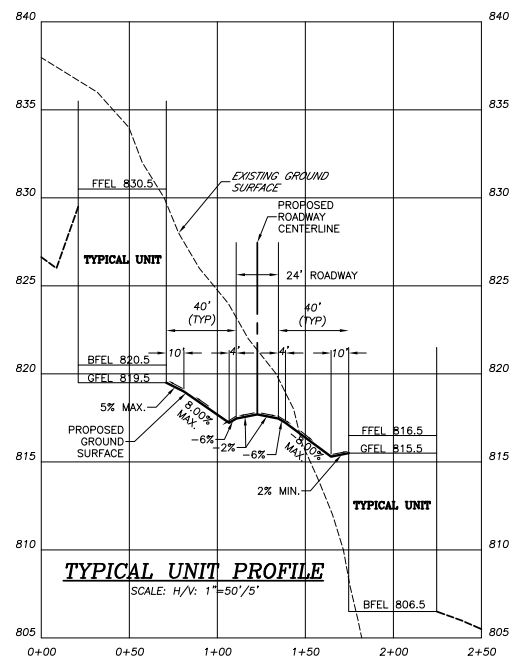
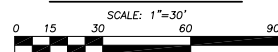


LEGEND

- PROPOSED UNIT (INCLUDING GARAGE)
- PROPOSED CURB
- LIMITED COMMON ELEMENT
- TYPICAL FIRE HYDRANT LOCATION
- TYPICAL LIGHT POLE LOCATION
- TYPICAL STREET TREE LOCATION
- TYPICAL WATER SERVICE CURB STOP LOCATION
- TYPICAL SEWER SERVICE CURB STOP LOCATION
- TYPICAL SEWER SERVICE GRINDER PUMP LOCATION
- PROPOSED WALKWAY
- PROPOSED EDGE OF DRIVE



**TYPICAL UNIT
LAYOUT PLAN**



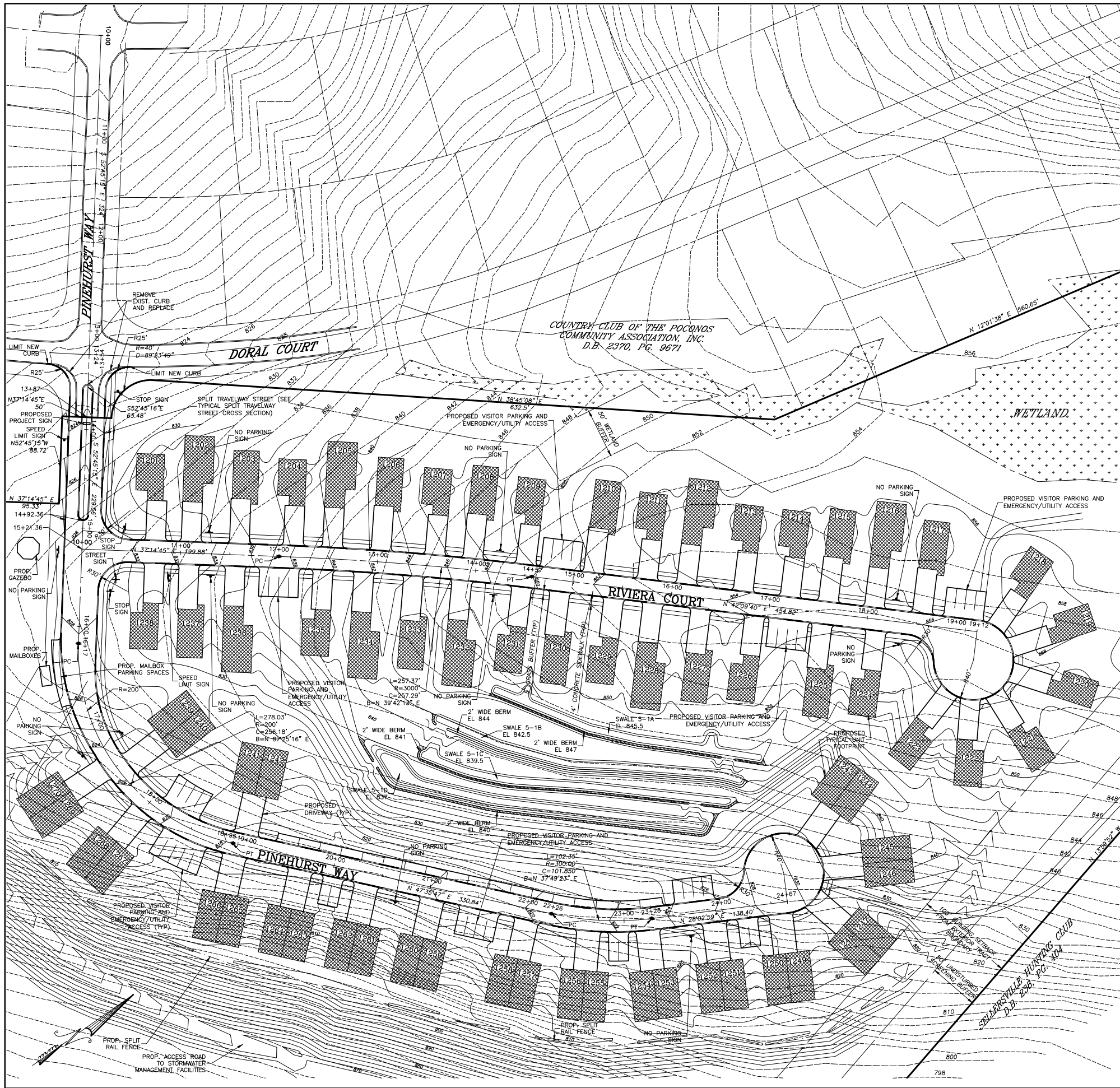
TYPICAL UNIT PROFILE

SCALE: H/V: 1"=50'/5'

NPDES PERMIT: PAS10S019-R(2)

REVISIONS		TYPICAL UNIT DETAILS	
		PHASE III, SECTION 5	
		OF THE PLANNED RESIDENTIAL DEVELOPMENT KNOWN AS COUNTRY CLUB OF THE POCONOS AT BIG RIDGE	
		MIDDLE SMITHFIELD TOWNSHIP	MONROE COUNTY, PA
	DATE:	DRAWN BY:	SCALE:
	JULY 8, 2012	BTL, SEL	AS SHOWN
	LINDER ENGINEERING, INC.		JOB#
	RD 1, BOX 408D		81101.01
CANADENSIS, PA 18325		3D OF 8	
TEL. 570-595-6432		FAX. 570-595-2725	

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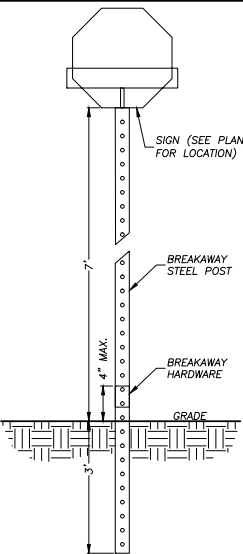


- LEGEND**
- EXISTING CONTOUR
 - PROPOSED BUILDING
 - PROPOSED CURB
 - WETLAND BUFFER
 - EXTERNAL TRACT BOUNDARY BUILDING SETBACK LINE



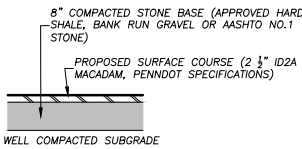
RIVERIA COURT
6"x30"

PINEHURST WAY
6"x30"



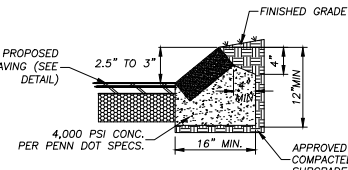
STREET SIGN DETAIL

NO SCALE
NOTE: THIS DETAIL APPLIES TO ALL STREET NAME SIGNS, STOP SIGNS, DIRECTIONAL SIGNS, TRAFFIC CONTROL SIGNS, ETC. SIGN MATERIALS AND INSTALLATION SHALL CONFORM WITH PENN DOT FORM 408 SPECIFICATIONS.



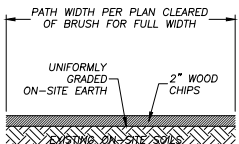
PROPOSED PARKING DETAIL

NO SCALE



PROPOSED MOUNTABLE GRANITE BLOCK CURB DETAIL

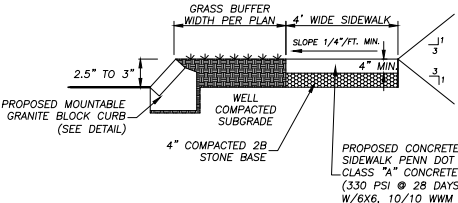
NO SCALE
NOTE: JOINTS TO BE CLEANED AND DAMP PRIOR TO MORTARING



PROPOSED PATH DETAIL

NO SCALE

- NOTES:
1. PATH WIDTH SHALL BE PER THE PLAN.
 2. ALL GROUND VEGETATION AND BRUSH SHALL BE CLEARED AND CUT FLUSH WITH THE EXISTING GROUND SURFACE FOR THE FULL WIDTH OF THE PATHS.
 3. EXISTING ON-SITE SOILS SHALL BE UNIFORMLY GRADED WITHIN THE PATH.
 4. PATHS SHALL BE SURFACED WITH 2" WOOD CHIPS.



PROPOSED SIDEWALK DETAIL

NO SCALE

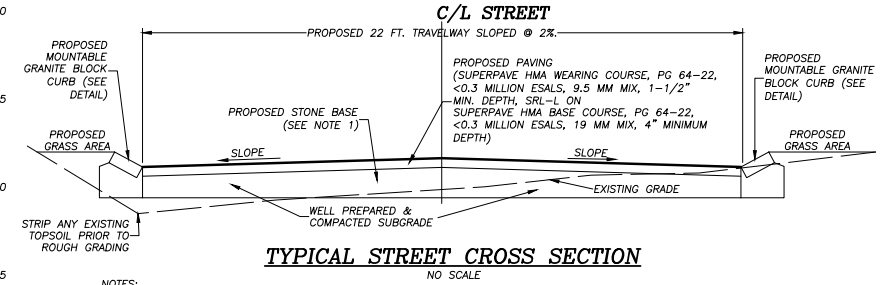
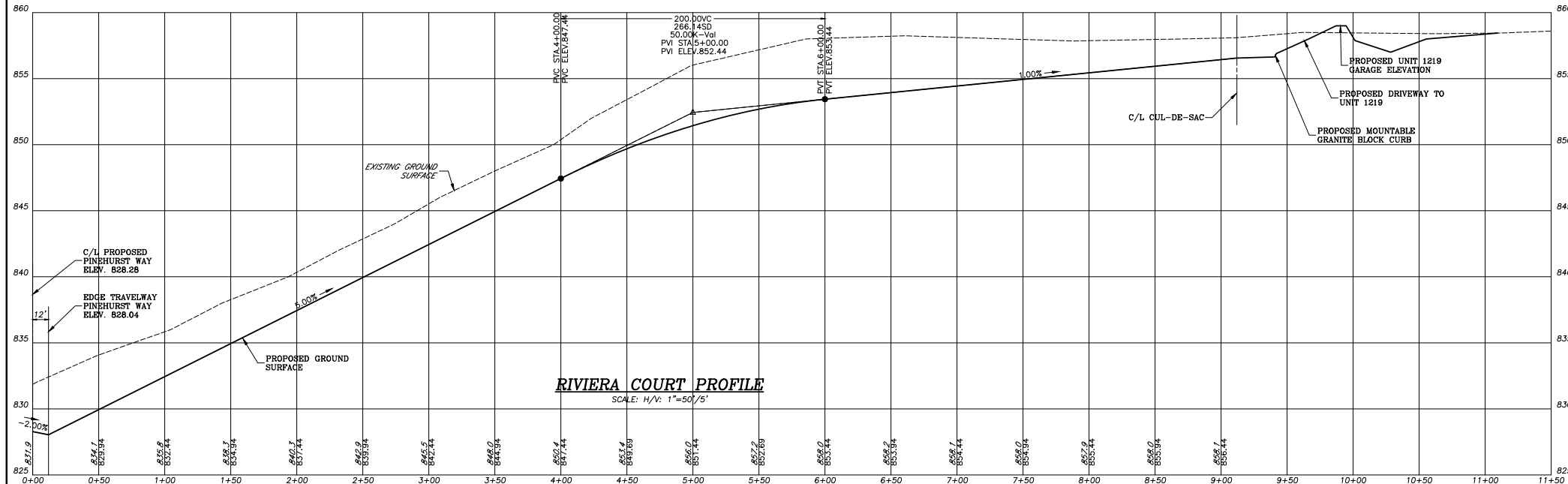
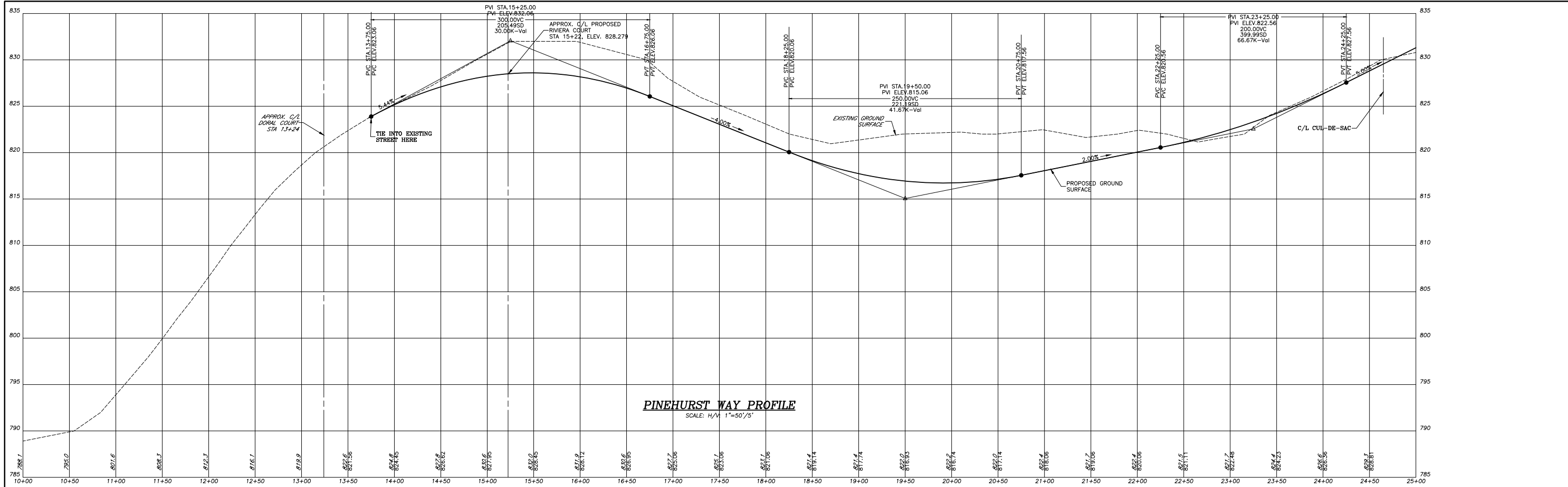
NOTE: CONCRETE SIDEWALK SHALL SMOOTHLY TIE INTO EXISTING SURROUNDING AREAS AND SHALL BE PROVIDED W/CONTROL JOINTS @ 5 FT. O.C. AND EXPANSION JOINTS AT 20 FT. (MAX.) O.C. EACH WAY.

ROAD LAYOUT PLAN

SCALE: 1"=50'
0 25 50 100 150

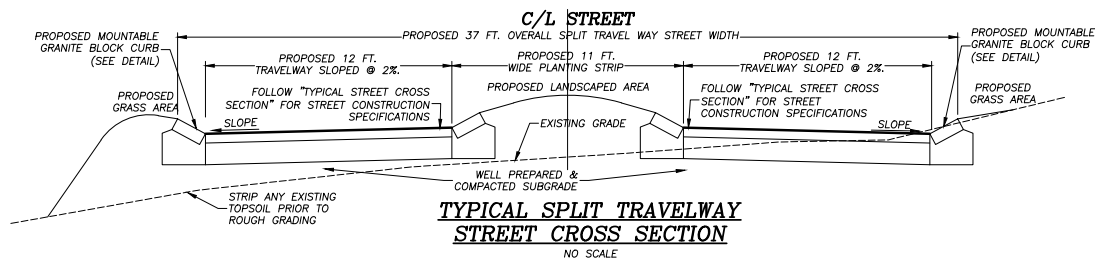
NPDES PERMIT: PAS10S019-R(2)

REVISIONS			ROAD LAYOUT PLAN		
6	10/04/12	misc. revs.	PHASE III, SECTION 5		
7	07/08/13	com. ele. revs.	OF THE PLANNED RESIDENTIAL DEVELOPMENT KNOWN AS		
8	11/21/13	twp. revs.	COUNTRY CLUB OF THE POCONOS AT BIG RIDGE		
			MIDDLE SMITHFIELD TOWNSHIP	MONROE COUNTY, PA	
			DATE: OCTOBER 6, 2011	DRAWN BY: BTL, SEL	SCALE: AS SHOWN
			LINDER ENGINEERING, INC.		
			RD 1, BOX 4080		
			CANADENISSA, PA 18325		
			TEL. 570-595-6432 FAX 570-595-2725		
			4A OF 8		



NOTES:
1. ON-SITE SOIL TESTING OF THE PREPARED ROAD SUBGRADE SHALL BE PERFORMED EVERY 500' OF ROADWAY OR AS SUITABLE TO THE TOWNSHIP ENGINEER PRIOR TO THE PLACEMENT OF THE STONE BASE. SOIL TESTING RESULTS MUST BE PROVIDED TO THE TOWNSHIP ENGINEER. STONE BASE CONSTRUCTION SHALL FOLLOW OPTION 1 BELOW. IF THE SOIL CONDITION IS CONSIDERED UNSUITABLE TO THE TOWNSHIP ENGINEER, STONE BASE CONSTRUCTION SHALL FOLLOW OPTION 2 BELOW.

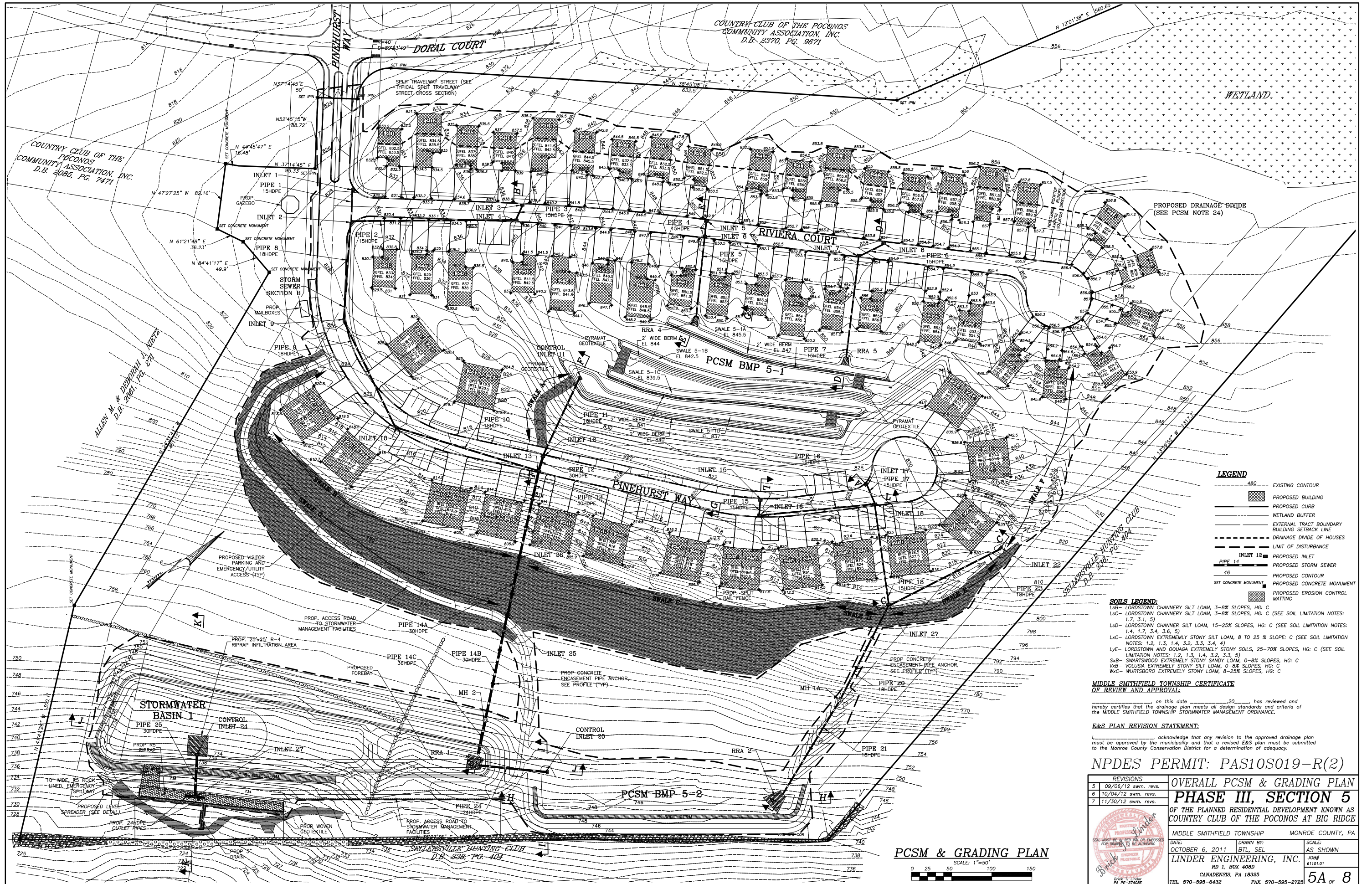
OPTION 1	8" STONE BASE	2" 2A CRUSHED STONE ON 6" APPROVED BROKEN SHALE, BOTH COURSES WELL COMPACTED
OPTION 2	18" STONE BASE	2" 2A CRUSHED STONE ON 16" APPROVED BROKEN SHALE, BOTH COURSES WELL COMPACTED



NPDES PERMIT: PAS10S019-R(2)

REVISIONS			ROAD LAYOUT PROFILES & DETAILS	
4	11/30/12	pymt. revs.	PHASE III, SECTION 5 OF THE PLANNED RESIDENTIAL DEVELOPMENT KNOWN AS COUNTRY CLUB OF THE POCONOS AT BIG RIDGE	
5	07/08/13	twp. revs.		
6	11/05/13	twp. revs.		
			MIDDLE SMITHFIELD TOWNSHIP MONROE COUNTY, PA	
			DATE: OCTOBER 6, 2011 DRAWN BY: BTL, SEL SCALE: AS SHOWN	
LINDER ENGINEERING, INC. RD 1, BOX 408B CANADENISSIS, PA 18325			JOB# 61101.01	
TEL 570-595-6432 FAX 570-595-2725			4B OF 8	

Duplication or alteration of this drawing is prohibited unless otherwise approved by Linder Engineering, Inc.



- LEGEND**
- 480 --- EXISTING CONTOUR
 - PROPOSED BUILDING
 - PROPOSED CURB
 - WETLAND BUFFER
 - EXTERNAL TRACT BOUNDARY
 - BUILDING SETBACK LINE
 - DRAINAGE DIVIDE OF HOUSES
 - LIMIT OF DISTURBANCE
 - INLET 12
 - PIPE 14
 - 46
 - SET CONCRETE MONUMENT
 - PROPOSED INLET
 - PROPOSED STORM SEWER
 - PROPOSED CONTOUR
 - PROPOSED CONCRETE MONUMENT
 - PROPOSED EROSION CONTROL MATTING

SOILS LEGEND:
LSC- LORDSTOWN CHANNERY SILT LOAM, 3-8% SLOPES, HG: C
LSC- LORDSTOWN CHANNERY SILT LOAM, 3-8% SLOPES, HG: C (SEE SOIL LIMITATION NOTES: 1.7, 3.1, 5)
LSD- LORDSTOWN CHANNERY SILT LOAM, 15-25% SLOPES, HG: C (SEE SOIL LIMITATION NOTES: 1.7, 3.1, 5)
LXC- LORDSTOWN EXTREMELY STONY SILT LOAM, 8 TO 25 % SLOPE: C (SEE SOIL LIMITATION NOTES: 1.2, 1.3, 1.4, 3.2, 3.3, 3.4, 4)
LYE- LORDSTOWN AND OQUAGA EXTREMELY STONY SOILS, 25-70% SLOPES, HG: C (SEE SOIL LIMITATION NOTES: 1.2, 1.3, 1.4, 3.2, 3.3, 5)
SVB- SWARTSWOOD EXTREMELY STONY SANDY LOAM, 0-8% SLOPES, HG: C
WXB- VOLUSIA EXTREMELY STONY SILT LOAM, 0-8% SLOPES, HG: C
WXC- WURTSEBORO EXTREMELY STONY LOAM, 8-25% SLOPES, HG: C

MIDDLE SMITHFIELD TOWNSHIP CERTIFICATE OF REVIEW AND APPROVAL:

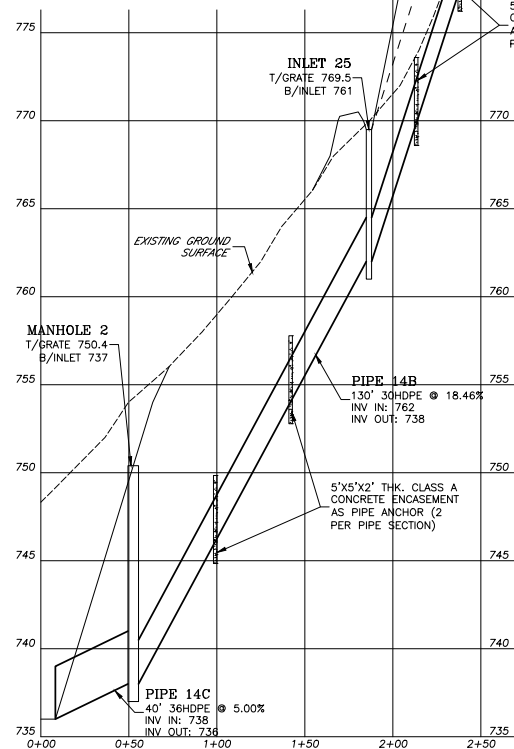
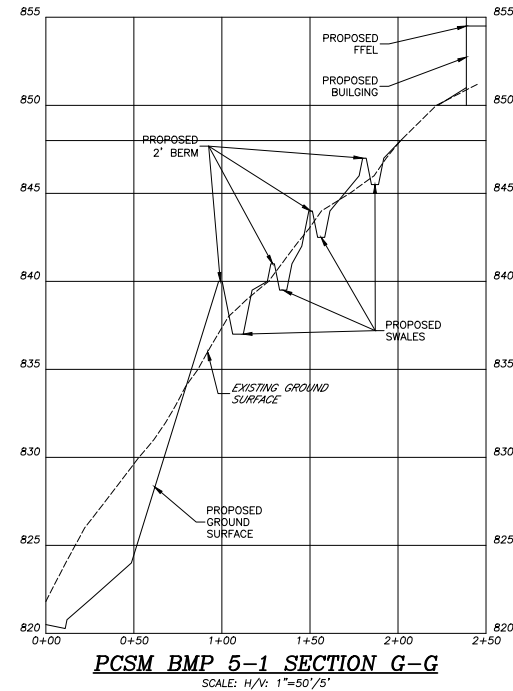
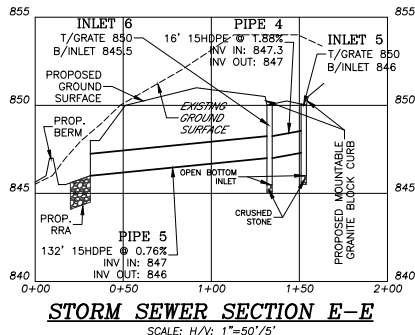
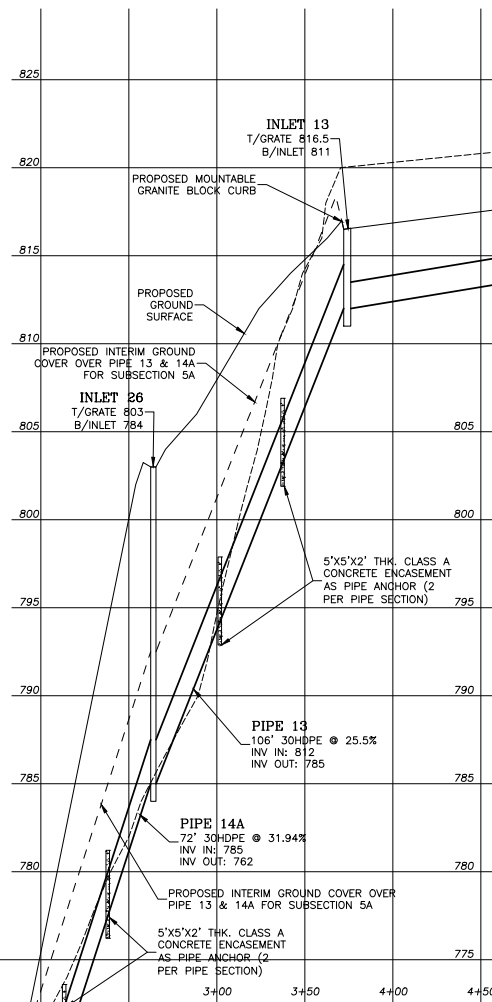
_____, on this date _____, 20____, has reviewed and hereby certifies that the drainage plan meets all design standards and criteria of the MIDDLE SMITHFIELD TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

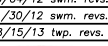
E&S PLAN REVISION STATEMENT:

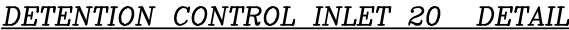
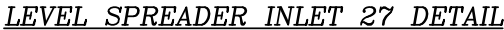
I, _____, acknowledge that any revision to the approved drainage plan must be approved by the municipality and that a revised E&S plan must be submitted to the Monroe County Conservation District for a determination of adequacy.

NPDES PERMIT: PAS10S019-R(2)

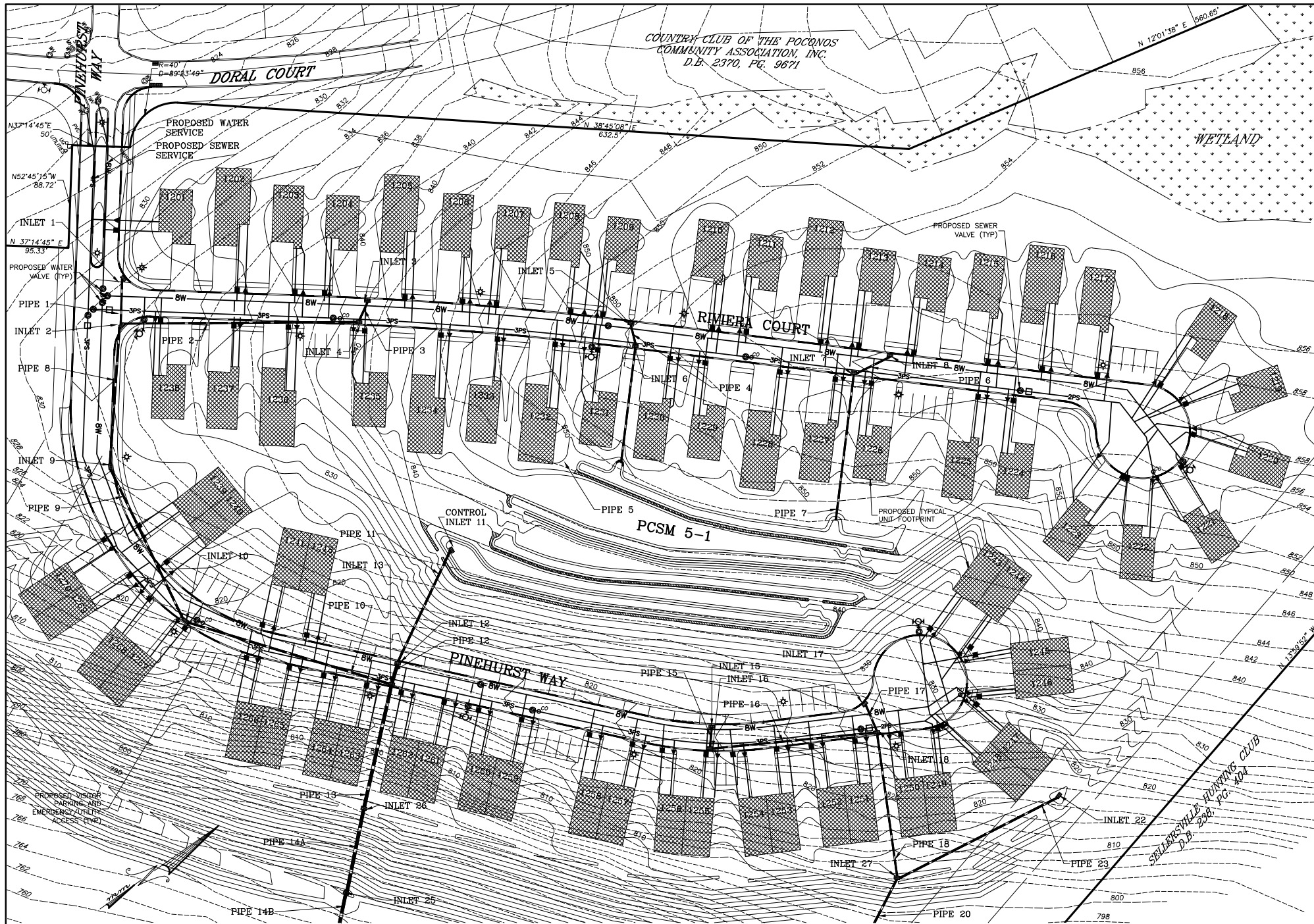
REVISIONS		OVERALL PCSM & GRADING PLAN	
5	09/06/12 swm. revs.	PHASE III, SECTION 5	
6	10/04/12 swm. revs.	OF THE PLANNED RESIDENTIAL DEVELOPMENT KNOWN AS	
7	11/30/12 swm. revs.	COUNTRY CLUB OF THE POCONOS AT BIG RIDGE	
DATE: OCTOBER 6, 2011		MIDDLE SMITHFIELD TOWNSHIP MONROE COUNTY, PA	
DRAWN BY: BTL, SEL		SCALE: AS SHOWN	
LINDER ENGINEERING, INC.		JOB# 61101.01	
RD 1, BOX 4080		CANADENISS, PA 18325	
TEL 570-595-6432		FAX 570-595-2725	
PA PC-374006		5A OF 8	



REVISIONS 6 11/04/12 5mm. revs. 7 10/30/12 5mm. revs. 8 08/15/13 twp. revs.		PCSM & GRADING PLAN PHASE III, SECTION 5 OF THE PLANNED RESIDENTIAL DEVELOPMENT KNOWN AS COUNTRY CLUB OF THE POCONOS AT BIG RIDGE	
 SEAL MUST BE IN RED INK OR EMBOSSED FOR DRAWING TO BE AUTHENTIC BRACKETT T. LINDER PA. REG-37408E		MIDDLE SMITHFIELD TOWNSHIP MONROE COUNTY, PA DATE: OCTOBER 6, 2011 DRAWN BY: BTL SEL SCALE: AS SHOWN LINDER ENGINEERING, INC. RD 1, BOX 408D JOB# 61101.01 CANADENSIS, PA 18325	
Brickett T. Linder PA. REG-37408E		TEL. 570-595-6432 FAX. 570-595-2725 5C OF 8	



REVISIONS 1 09/06/12 swm. revs. 2 10/04/12 swm. revs. 3 11/30/12 swm. revs.		PCSM & GRADING PLAN PHASE III, SECTION 5 OF THE PLANNED RESIDENTIAL DEVELOPMENT KNOWN AS COUNTRY CLUB OF THE POCONOS AT BIG RIDGE	
MIDDLE SMITHFIELD TOWNSHIP MONROE COUNTY, PA		DATE: AUGUST 9, 2012 DRAWN BY: BTL SEL SCALE: AS SHOWN JOB# 61101.01 LINDER ENGINEERING, INC. RD 1, BOX 408D CANADANIS, PA 18635 TEL. 570-595-6432 FAX. 570-595-2728 5D OF 8	



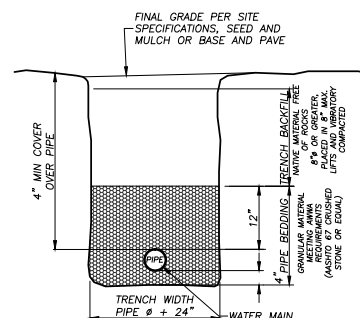
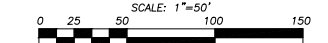
- GENERAL UTILITY NOTES:**
1. PRIOR TO CONSTRUCTION, UTILITIES SHALL BE CONTACTED TO AVOID INTERFERENCES. THE "ONE CALL" NUMBER (800-242-1776) SHALL BE CALLED AT LEAST 3 DAYS PRIOR TO THE START OF CONSTRUCTION.
 2. PROPER TRAFFIC CONTROLS MUST BE INSTITUTED WHEN WORKING WITHIN AND ALONG THE RIGHTS-OF-WAY.
 3. ANY GROUNDWATER PUMPED TO DEWATER THE UTILITY EXCAVATIONS SHALL BE PUMPED INTO E&S BMP'S.
 4. UPON COMPLETION OF CONSTRUCTION, "AS-BUILT" DRAWINGS SHALL BE PROVIDED TO THE OWNER BY THE CONTRACTOR. THESE DRAWINGS SHALL INDICATE FINAL GRADES AND LOCATIONS OF ALL IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO THE SEWER AND WATER MAINS AND LATERALS.

- SEWER NOTES:**
51. SEWER SERVICE WILL BE FROM MIDDLE SMITHFIELD TOWNSHIP. THE CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL SEWER CONSTRUCTION, INSPECTIONS AND TESTING WITH MST. ALL WORK SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF MST.
 52. ALL PRESSURE PIPING SHALL BE 160 PSI RATED HDPE PIPING.
 53. ALL SEWER WORK SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE PA DEP.
 54. THE SEWER SHALL BE TESTED IN ACCORDANCE WITH DEP REGULATIONS AND THE DIRECTION OF MST.
 55. THE SEWER PIPING SHALL HAVE A MINIMUM OF 10' HORIZONTAL SEPARATION TO THE WATER PIPING.
 56. INFORMATION ON THE EXISTING SEWER SYSTEM WAS OBTAINED FROM THE RKR HESS DRAWINGS.
 57. THE CONTRACTOR SHALL, AT HIS/HER OWN EXPENSE, DETERMINE AND CORRECT THE CAUSES OF TEST FAILURE AND RETEST UNTIL SUCCESSFUL TEST RESULTS ARE ACHIEVED.
 58. ALL FITTINGS SHALL BE DESIGNED FOR USE WITH THE PIPE USED IN CONSTRUCTION AND SHALL HAVE A SERVICE RATING EQUAL TO THAT OF THE PIPE.

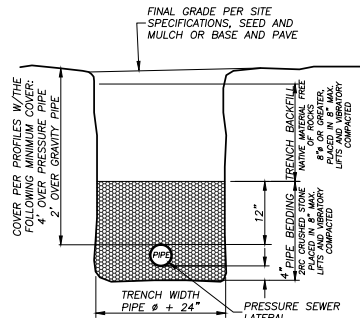
- WATER NOTES:**
- W1. WATER SERVICE WILL BE FROM THE PA AMERICAN WATER COMPANY (PAWC). THE CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL WATER CONSTRUCTION, INSPECTIONS AND TESTING WITH THE PAWC.
 - W2. ALL WATER MAIN SHALL BE CEMENT LINED, CLASS 52 DUCTILE IRON PIPE MEETING AWWA REQUIREMENTS AND SHALL BE ADEQUATELY SUPPORTED AND PROTECTED AND BE PROVIDED WITH THRUST RESTRAINTS AS NECESSARY AND REQUIRED.
 - W3. ALL WATER LATERALS SHALL BE 200 PSI RATED HDPE PIPING MEETING AWWA REQUIREMENTS. THE LATERALS SHALL BE ADEQUATELY SUPPORTED AND PROTECTED AND BE PROVIDED WITH THRUST RESTRAINTS AS NECESSARY AND REQUIRED.
 - W4. THE CONNECTIONS TO THE EXISTING WATER MAIN, INSTALLATION OF THE MAINS & SERVICE VALVES AND INSTALLATION OF THE WATER LATERALS FROM THE MAINS TO THE INDIVIDUAL SERVICE VALVES SHALL BE PERFORMED BY THE CONTRACTOR.
 - W5. ALL WATER MAINS, LATERALS, MATERIALS AND WORK SHALL CONFORM TO ALL APPLICABLE SPECIFICATIONS AND REQUIREMENTS OF THE PAWC AND MEET AWWA AND FACTORY MUTUAL STANDARDS.
 - W6. THE WATER PIPING SHALL BE INSTALLED WITH MINIMUM SEPARATION ACCORDING TO PA DEP REQUIREMENTS WHEN CROSSING OTHER UTILITIES. GENERALLY 18" OF VERTICAL SEPARATION IS REQUIRED, AND IF CONCRETE ENCASUREMENT IS NECESSARY, THE PIPES MUST FIRST BE WRAPPED IN PROTECTIVE PLASTIC WRAPPING BEFORE THE CONCRETE IS CAST.
 - W7. THE WATER LATERALS SHALL BE DISINFECTED AND TESTED TO AWWA REQUIREMENTS. DISPOSAL OF HEAVILY CHLORINATED WATER AFTER TESTING MUST COMPLY WITH ENVIRONMENTAL REQUIREMENTS. HEAVILY CHLORINATED WATER SHALL NOT BE PERMITTED TO BE DIRECTLY DISCHARGED TO THE SURFACE.
 - W8. THE INFORMATION ON THE EXISTING WATER MAIN WAS OBTAINED FROM THE RKR HESS DRAWINGS.

- LEGEND**
- 480 - EXISTING CONTOUR
 - PROPOSED RESIDENTIAL BUILDING
 - PROPOSED CURB
 - PROPOSED INLET
 - 46 - PROPOSED STORM SEWER
 - PROPOSED CONTOUR
 - 2PS - EXISTING PRESSURE SEWER & SIZE
 - EXISTING PRESSURE SEWER VALVE
 - PROPOSED PRESSURE SEWER & SIZE
 - PROPOSED PRESSURE SEWER VALVE
 - PROPOSED 1-1/2" PRESSURE SEWER LATERAL & CURB STOP
 - PROPOSED PRESSURE SEWER CLEANOUT
 - CHANGE IN PRES. SEWER PIPE SIZE AND CLEANOUT
 - 8W - EXISTING WATER MAIN & SIZE
 - EXISTING WATER VALVE
 - PROPOSED WATER MAIN & SIZE
 - PROPOSED WATER VALVE
 - PROPOSED FIRE HYDRANT
 - PROPOSED 1" WATER LATERAL & CURB STOP
 - PROPOSED LIGHT POLE

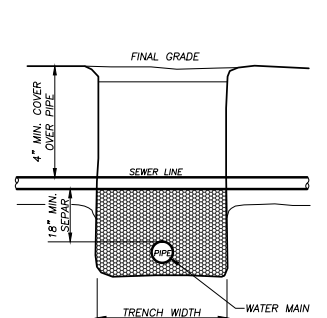
WATER & SEWER PLAN



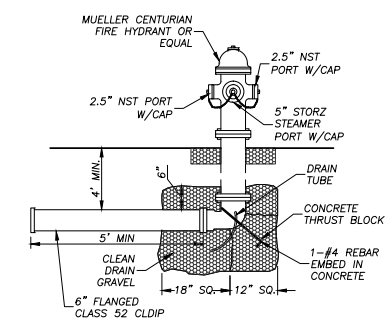
WATER MAIN/LATERAL TRENCH DETAIL
NO SCALE



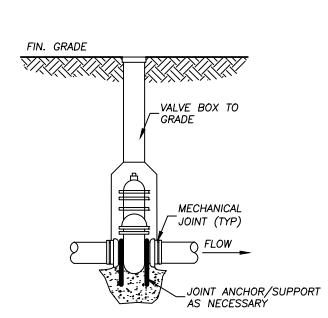
PRESSURE SEWER MAIN/LATERAL TRENCH DETAIL
NO SCALE



WATER/SEWER CROSSING DETAIL
NO SCALE



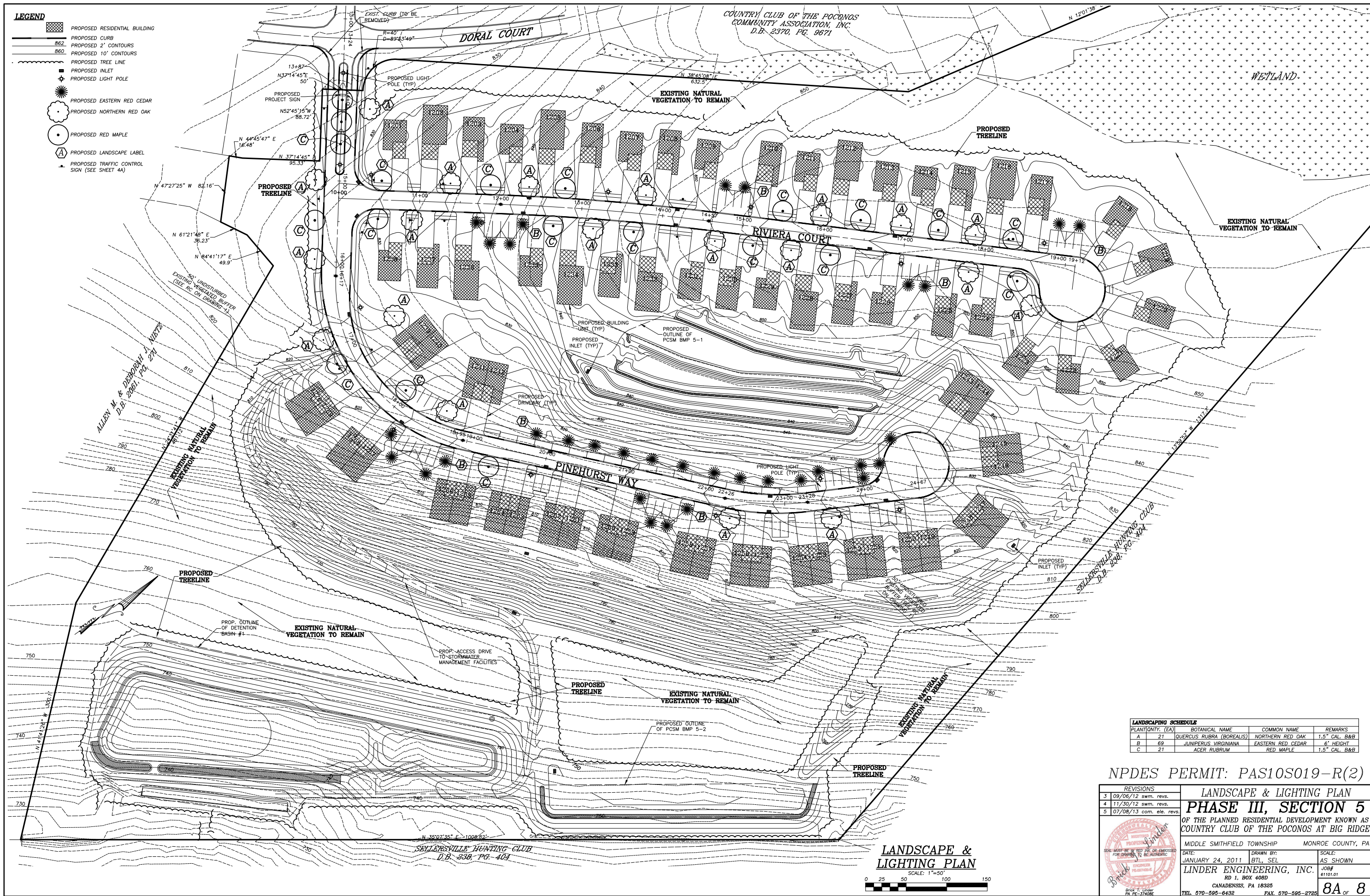
FIRE HYDRANT DETAIL
NO SCALE



VALVE DETAIL
NO SCALE

NPDES PERMIT: PAS10S019-R(2)

REVISIONS			WATER & SEWER PLAN		
5	09/06/12 swm. revs.		PHASE III, SECTION 5		
6	10/04/12 swm. revs.		OF THE PLANNED RESIDENTIAL DEVELOPMENT KNOWN AS		
7	07/08/13 com. ele. revs.		COUNTRY CLUB OF THE POCONOS AT BIG RIDGE		
MIDDLE SMITHFIELD TOWNSHIP			MONROE COUNTY, PA		
DATE: OCTOBER 6, 2011			DRAWN BY: BTL, SEL		
LINDER ENGINEERING, INC.			AS SHOWN		
RD 1, BOX 4080			JOB# 61101.01		
CANADENSISS, PA 18325			6 OF 8		
TEL 570-595-6432			PAX 570-595-2725		



- LEGEND**
- PROPOSED RESIDENTIAL BUILDING
 - PROPOSED CURB
 - PROPOSED 2' CONTOURS
 - PROPOSED 10' CONTOURS
 - PROPOSED TREE LINE
 - PROPOSED INLET
 - PROPOSED LIGHT POLE
 - PROPOSED EASTERN RED CEDAR
 - PROPOSED NORTHERN RED OAK
 - PROPOSED RED MAPLE
 - PROPOSED LANDSCAPE LABEL
 - PROPOSED TRAFFIC CONTROL SIGN (SEE SHEET 4A)

LANDSCAPING SCHEDULE			
PLANT QUANTITY (EA)	BOTANICAL NAME	COMMON NAME	REMARKS
A 21	QUERCUS RUBRA (BOREALIS)	NORTHERN RED OAK	1.5" CAL. B&B
B 69	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	6" HEIGHT
C 21	ACER RUBRUM	RED MAPLE	1.5" CAL. B&B

NPDES PERMIT: PAS10S019-R(2)

REVISIONS

3	09/06/12 swm. revs.
4	11/30/12 swm. revs.
5	07/08/13 com. ele. revs.

LANDSCAPE & LIGHTING PLAN

PHASE III, SECTION 5

OF THE PLANNED RESIDENTIAL DEVELOPMENT KNOWN AS
COUNTRY CLUB OF THE POCONOS AT BIG RIDGE

MIDDLE SMITHFIELD TOWNSHIP MONROE COUNTY, PA

DATE: JANUARY 24, 2011	DRAWN BY: BTL, SEL	SCALE: AS SHOWN
LINDER ENGINEERING, INC. RD 1, BOX 408D CANADENSIS, PA 18325		JOB# 61101.01
TEL 570-595-6432 FAX 570-595-2725		8A OF 8

MEL NORTHEY

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Product Specifications
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Municipal quality core cast base with light fluted non-tapered 4" tubular shaft

Brand: **Stratford Series**
Stock Number: 8375 12' Overall Height
Base Diameter: 12"
Height: 12'
Dimensions: 30" Height x 12" Diameter
Luminair Dims: 35.5" H x 18.5" W
Post Material: 4" dia. x .125 wall lightly fluted aluminum post
Globe Material: Standard: Clear Lexan Polycarbonate
Lighting: Standard: Incandescent
Optional: (HID) HPS- High pressure sodium, or MH - Metal Halide

Installation Instructions

Lights are to be installed onto a cement pad the depth of your local frost line. The base pad should be poured cylindrically with a width of not less than 2' larger than diameter of base. 1/2" x 12" to 18" L-Shape bolts are necessary for installation (not provided, may obtain at your local hardware store) secure four (4) of these bolts, according to the template provided. Electrical conduit containing the main electrical wire should protrude through the center of this cement pad. Connect the base of the light to the cement pad using nuts, and connect the main electrical wire to the leads extending down from the socket assembly (standard) or the ballast/socket assembly (optional). Assembly is now complete

Extended Product Description

AVY DUTY MUNICIPAL QUALITY CORE CAST BASE WITH 4" DEEPLY FLUTED TUBULAR NON TAPERED SHAFT

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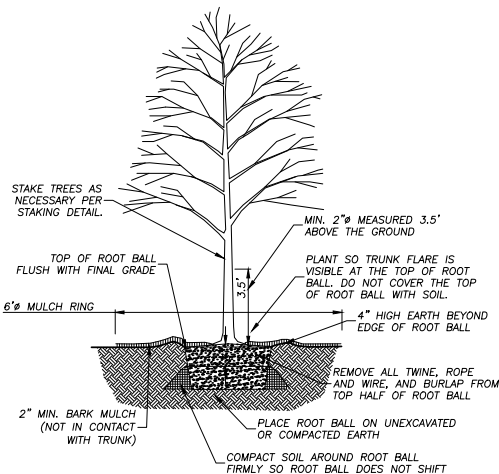
Scenes

Diagrams



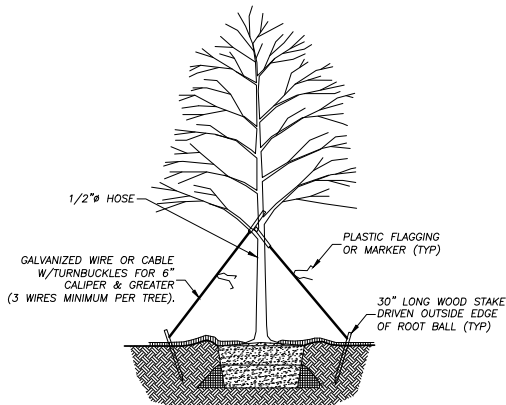
Merit

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TYPICAL TREE PLANTING DETAIL

NO SCALE



TYPICAL TREE STAKING DETAIL

NO SCALE

NPDES PERMIT: PAS10S019-R(2)

REVISIONS			LANDSCAPE & LIGHTING DETAILS		
			PHASE III, SECTION 5		
			OF THE PLANNED RESIDENTIAL DEVELOPMENT KNOWN AS COUNTRY CLUB OF THE POCONOS AT BIG RIDGE		
			MIDDLE SMITHFIELD TOWNSHIP MONROE COUNTY, PA		
DATE: FEBRUARY 1, 2012		DRAWN BY: BTL, SEL	SCALE: AS SHOWN		
LINDER ENGINEERING, INC.			JOB# 61101.01		
RD 1, BOX 408D					
CANADENSIS, PA 18325					
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